



CITY OF MANTECA

DEVELOPMENT SERVICES DEPARTMENT

June 7, 2021

Meritage Homes
ATTN: Rob Wilson
840 Stillwater Rd., Ste. 200A
West Sacramento, CA 95605

SUBJECT: TUP-21-53 MERITAGE HOMES CERRI MODEL HOME COMPLEX & SALES OFFICE

Dear Applicant:

The City of Manteca Planning Division has reviewed your Temporary Use Permit application for a sales office and model complex. Your project application has been approved with the following conditions:

**City of Manteca Development Services Department, Planning Division
Allison Diaz, Development Services Technician (209) 456-8515**

1. The Temporary Use Permit is only valid for the following dates: June 7, 2021 until the final home is sold for Meritage Homes in the Cerri Subdivision.
2. Physical distancing and sanitation protocols shall be strictly monitored and enforced at all times during all hours of operation. Failure to adhere to these health standards may result in revocation of this Temporary Use Permit.
3. All related debris shall be removed from the site upon termination of the use.
4. Emergency vehicle access shall be maintained at all times.
5. All on site landscape shall be maintained by property owner.
6. Developer shall obtain permits to meet the requirements of Model Water Efficiency Landscaping Ordinance.
7. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
8. Utility Companies: The applicant is responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
9. Fees: Developer shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

**City of Manteca Fire Department
Art Salas- Fire Inspector II (209) 456-8311**

10. At least 1 (2A;10BC) Fire Extinguisher added to each sales and construction office.

**City of Manteca Development Services Department, Building Safety Division
Lumen Arceo, Senior Plan Check Engineer (209) 456-8560**

11. Developer shall obtain building permits for the parking area, sales office, restroom facility, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC §105.
12. Developer shall provide that all entrances and exterior ground-floor exits to the sales office building and the restroom facility shall be accessible and shall comply with CBC §11B-404. CBC §11B-206.4.1.
13. Developer shall comply with all requirements of the Model Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.

**City of Manteca Parks Planning and Projects Division
Kathryn Reed - Senior Landscape Planning Technician (209) 456-8629**

14. Trees shall match the designated variety for this street per Sheet L4-1 of the approved Arbor Bend Landscape Construction Plans.

If you have questions or if you need supplemental information regarding this letter, please contact me directly at (209) 456-8515 or adiaz@ci.manteca.ca.us

Sincerely,

Allison Diaz

*Allison Diaz, Development Services Technician
Development Services Department, Planning Division*



CITY OF MANTECA, COMMUNITY DEVELOPMENT
 1001 W. Center Street, Manteca, CA 95337
 Main Line: (209) 456-8500: Fax: (209) 923-8949
 Email: planning@ci.manteca.ca.us Website: www.ci.manteca.ca.us

Application Date: 5/11/2021 Application Number: _____

Applicant's Name	Business Name	
Rob Wilson	Meritage Homes	
Applicant's Address	City, State, Zip	Telephone
840 Stillwater Road, Suite 200A	West Sacramento, CA 95605	916-840-3573
Location of Activity:	Date & Time of Activity	
2966 Diablo View Drive	FROM: 10:00 am - 6:00 pm TO: 7/2021-12/2023	
Description of Activity:		
Model Complex Sales Office		

Property Owner's Name	Meritage Homes	
Property Owner's Address	City, State, Zip	Telephone
860 Stillwater Road, Suite 200A	West Sacramento, CA 95605	916-840-3573

Statement of Ownership or Authorization of Agent

(check one item)

I, the undersigned, am (one of) the legal owner(s) of the land specified in this application.

I, do hereby authorized and empower Rob Wilson (agent) to act on my behalf on all matters relating to this application.

[Signature] Signature 4/28/2021 Date
 840 Stillwater Road, Suite 200A West Sacramento, CA 95605 916-840-3573
 Address City, State, Zip Telephone

In making this application, the undersigned agrees that the above information is true and that all conditions will be met.

Applicant's Signature Rob Wilson 4/28/2021 Date

****For Office Use Only****

\$250 Cleaning Deposit Required (Christmas Tree Lots Only) Receipt No: 2021-00225522 Date Received: 5/18/2021

Approved By: Allison Diaz Date: 6/7/2021

Conditions of the Temporary Use Permit

(Please initial all boxes agreeing to comply with all applicable conditions.)

- This Temporary Use Permit is only valid for the dates and times listed on this application.
- Proper building permits shall be obtained for all electrical and structural work through the City of Manteca Building Safety Division at (209) 456-8550.
- All related debris shall be removed from the site upon termination of the use.
- Applicant will provide traffic controls and parking as required by the Public Works Department and the Police Department prior to the event.
- Appropriate permits shall be secured from the San Joaquin County Health Department.
- Emergency vehicle access shall be maintained at all times.
- The placement of merchandise, signs and accessory vehicles/equipment shall not impede traffic circulation of the parking lot or create traffic conditions on _____
- Proposed activity shall not interfere with existing accessibility features (e.g. accessible parking spaces).
- Applicant shall provide an accessible path of travel from the proposed event site to the public street, accessible parking space and to the accessible restroom facility, if applicable. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. CBC Section 1114B.1.2. Clearly show accessible path of travel on the site plan.
- If parking will be provided, applicant shall provide an accessible parking space.
- If restroom facilities will be provided, applicant shall provide an accessible restroom.
- All gates shall meet all applicable specifications for doors, and shall comply with the following:
 - Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.
 - Effort to operate door/gate is 5 pounds max pressure.
 - Latching and locking doors/gates that are hand operated and which are in a path of travel are operable by lever type, panic bars, and push-pull activating bars.
 - Opening hardware is centered between 30" to 44" above finish floor.
 - There shall be a floor or landing on each side of a door/gate, and must be level and clear. Level area in the direction of the door swing is a minimum of 60".
- Applicant shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.
- Applicant shall be responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
- Appropriate direction signs, barricades or fences shall be provided as necessary.
- Applicant shall obtain a valid City business license.
- A water permit and hydrant meter shall be obtained from the Public Works Department. (209) 456-8585
- An acceptable path of egress to the public right-of-way shall be maintained at all time.
- Lessor shall not be responsible or liable for any loss or injury, or damage occurring to Lessee or to the property of Lessee or to third persons, or the property of third persons, in, about, or on said leased premises, no matter how occurring and Lessee will save Lessor harmless for or on account of any loss, injury or damage to any person or persons or their property occurring therein, or resulting from Lessee's operation thereof. Prior to the use of Property, Lessee shall obtain and maintain in force at its sole cost and expense, the following insurance coverage—Comprehensive General and Automobile Liability Insurance (covering use of owned, non-owned, or hired vehicles) with limits of \$1,000,000 per occurrence, Property Damage--\$300,000 per occurrence. Such insurance shall contain provisions insuring the City of Manteca, elected officials, employees, agents, and volunteers as insureds. Such insurance shall be primary to any liability insurance carried by the Lessor. Pursuant to California Government Code Section 818.4, a public entity is not liable for an injury caused by the issuance, denial, suspension or revocation of, or by the failure of refusal to issue, deny, suspend or revoke, any permit, license, certificate, approval, order, or similar authorization where the public entity or an employee of the public entity is authorized by enactment to determine whether or not such authorization should be issued, denied, suspended or revoked.
- Other: _____
- Other: _____
- Other: _____
- Other: _____

LANDSCAPE CONSTRUCTION DOCUMENTS FOR ARBOR BEND PHASE 1 MODEL COMPLEX 3 TEMPORARY USE PERMIT MANTECA, CALIFORNIA

ARBOR BEND
PHASE 1



860 Stillwater Road Suite #200A
West Sacramento, CA 95605

NO.	DATE	REVISIONS	BY	APPD

STUDIO 1515
LANDSCAPE ARCHITECTURE
1426 FOURTH STREET NAPA, CA 94559
(707) 252-8115

SHEET INDEX

L-0.0	COVER SHEET
L-1.0	GRADING & CALLOUT PLAN
L-2.0 - L-2.1	LANDSCAPE DETAILS

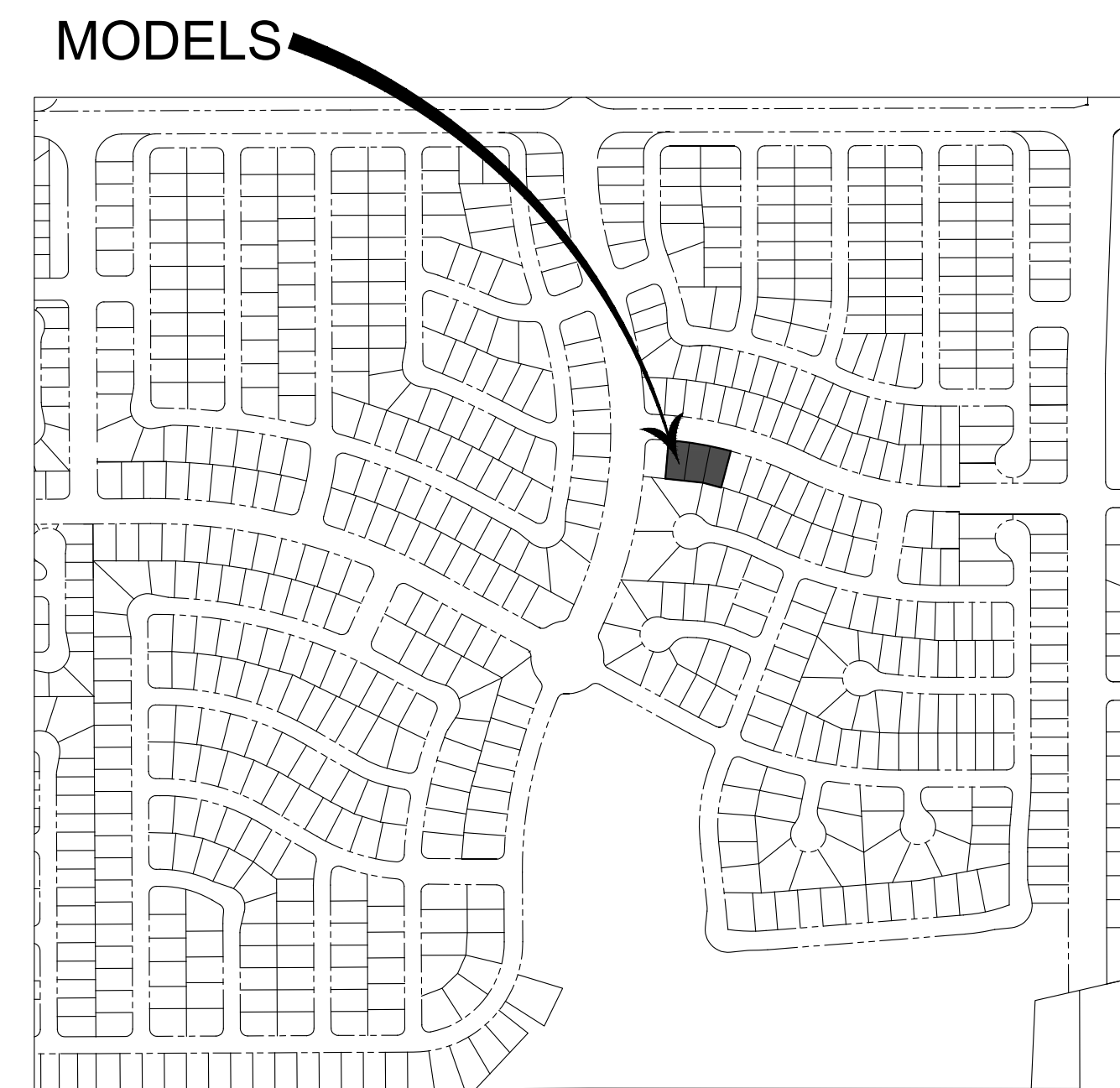
MWELo STATEMENT OF COMPLIANCE
"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPING ORDINANCE AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN."
Susan Heiken
SUSAN HEIKEN, PLA CA LICENSE # 6292
STUDIO 1515

VICINITY MAP



SITE
LOCATION

SITE MAP



CONSULTANTS:

CIVIL ENGINEER: NORTH STAR ENGINEER GROUP, INC.
620 12TH STREET
MODESTO, CALIFORNIA 95354
209.524.3525

ARCHITECT: KEVIN L. CROOK ARCHITECT, INC.
1360 REYNOLDS AVE., SUITE 110
IRVINE, CALIFORNIA 92614
949.660.1587

JOINT TRENCH: PENNINO MANAGEMENT GROUP
1949 W. KETTLEMAN LANE, SUITE 200
LODI, CALIFORNIA 95242
209.370.1908

CLIENT:



860 Stillwater Road
Suite #200A
West Sacramento, CA 95605
916.840.3550

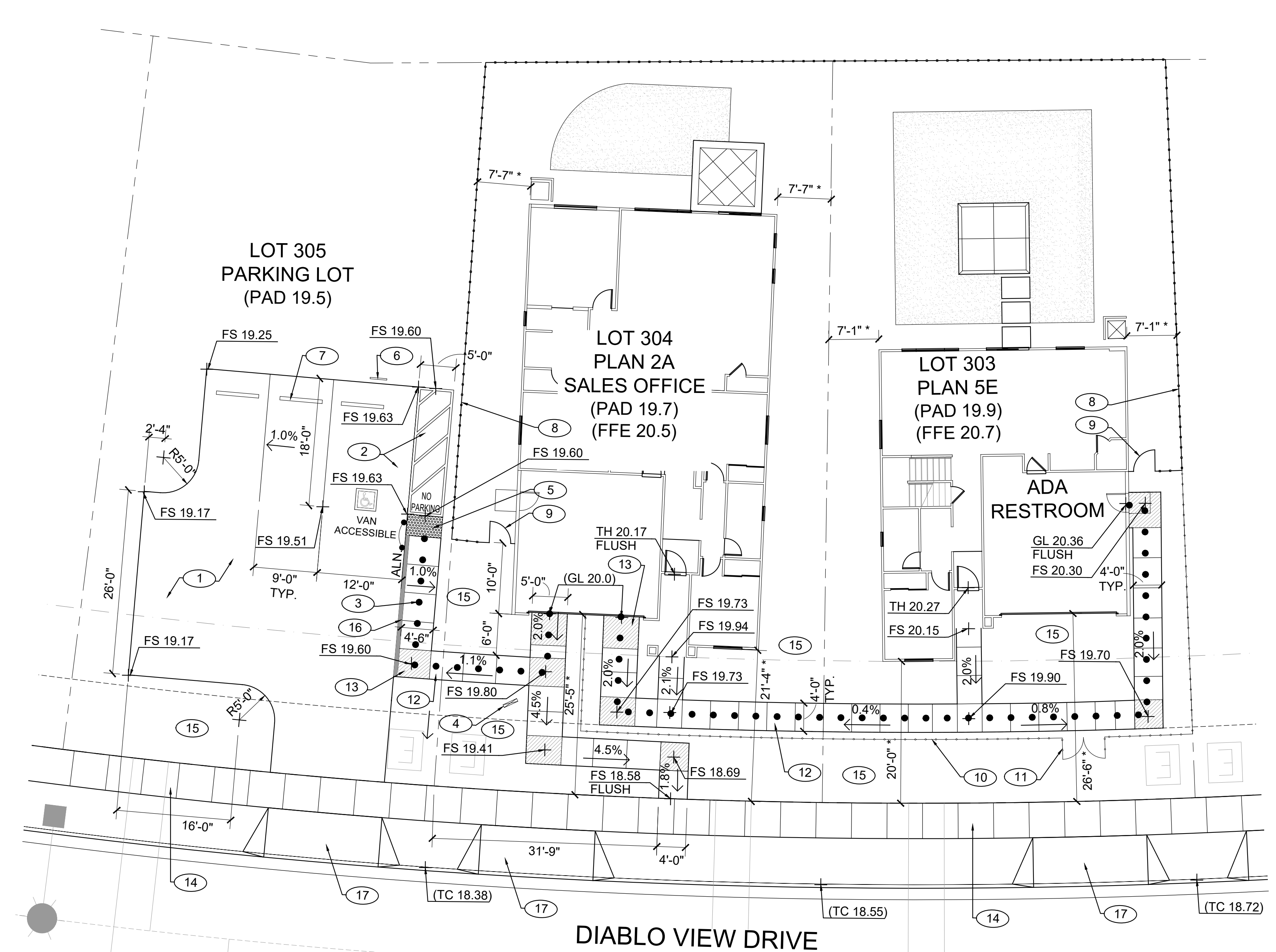


ARBOR BEND PHASE 1 MODEL COMPLEX 3
TEMPORARY USE PERMIT SET
COVER SHEET
MANTECA, CALIFORNIA

DATE	APRIL 8, 2021
DRAWN	
DESIGNED	
CHECKED	
JOB NO.	8120016.0
SHEET NO.	L-0.0

NO.	DATE	REVISIONS	BY
			APPD

DATE	APRIL 8, 2021
DRAWN	
DESIGNED	
CHECKED	
JOB NO.	8120016.0
SHEET NO.	L-1.0



GRADING LEGEND

FS FINISH SURFACE
GB GRADE BREAK
TC TOP OF CURB
TH THRESHOLD
(123.45) ELEVATIONS BY CIVIL
← DIRECTION OF SURFACE FLOW

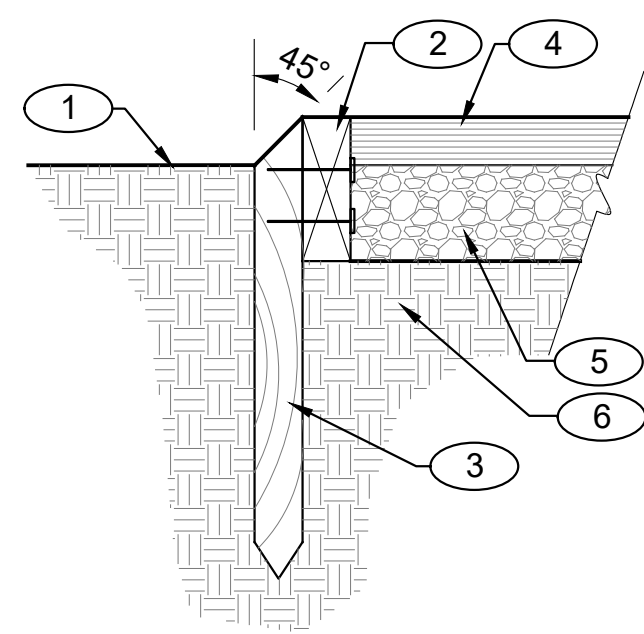
CONSTRUCTION CALLOUT LEGEND

- A.C. PARKING LOT FOR (3) VEHICLES INCLUDING (1) A.D.A. VAN ACCESSIBLE PARKING STALL AND ACCESS AISLE. **SEE DETAIL: A/L-2.0.**
- A.D.A. VAN ACCESSIBLE PARKING STALL AND ACCESS AISLE. **SEE DETAIL: E/L-2.0.**
- ACCESSIBLE ROUTE TO MODELS AND RESTROOM. **SEE CONCRETE PAVING DETAIL: B/L-2.0.**
- ACCESSIBLE ROUTE & DIRECTIONAL SIGN. **SEE DETAIL: G/L-2.0.**
- TRUNCATED DOMES PER CITY STANDARDS. **SEE DETAIL: F/L-2.0.**
- A.D.A. PARKING SIGN PER A.D.A./CITY STANDARDS & UNAUTHORIZED VEHICLE WARNING SIGN. **SEE DETAIL: C/L-2.0.**
- WHEEL STOPS PER CITY STANDARDS.
- 6'-0" HIGH GOOD NEIGHBOR FENCE, TYPICAL. **SEE MODELS CD SET PREPARED BY STUDIO 1515.**
- 6'-0" HIGH WOOD GATE, TYPICAL. **SEE MODELS CD SET PREPARED BY STUDIO 1515.**
- AMERISTAR 42" TALL TUBE STEEL TRAP FENCE. COLOR TO BE BLACK. **SEE DETAIL: A/L-2.1.**
- MAINTENANCE GATE. COLOR TO BE BLACK. **SEE DETAIL: B/L-2.1.**
- CONCRETE WALK, TYPICAL. COLOR SHALL BE NATURAL GRAY WITH MEDIUM BROOM FINISH. **SEE DETAIL: B/L-2.0.**
- LEVEL TURNING/ LANDING PAD WITH 2% MAXIMUM SLOPE IN ANY DIRECTION, TYPICAL.
- PUBLIC SIDEWALK PER CIVIL ENGINEER'S PLANS.
- PLANTING AREA, TYPICAL.
- 6" CONCRETE CURB. **SEE DETAIL: H/L-2.0.**
- DRIVEWAY APRON PER CIVIL ENGINEER'S PLANS.

* DIMENSION PER CIVIL ENGINEER'S PLOT PLANS

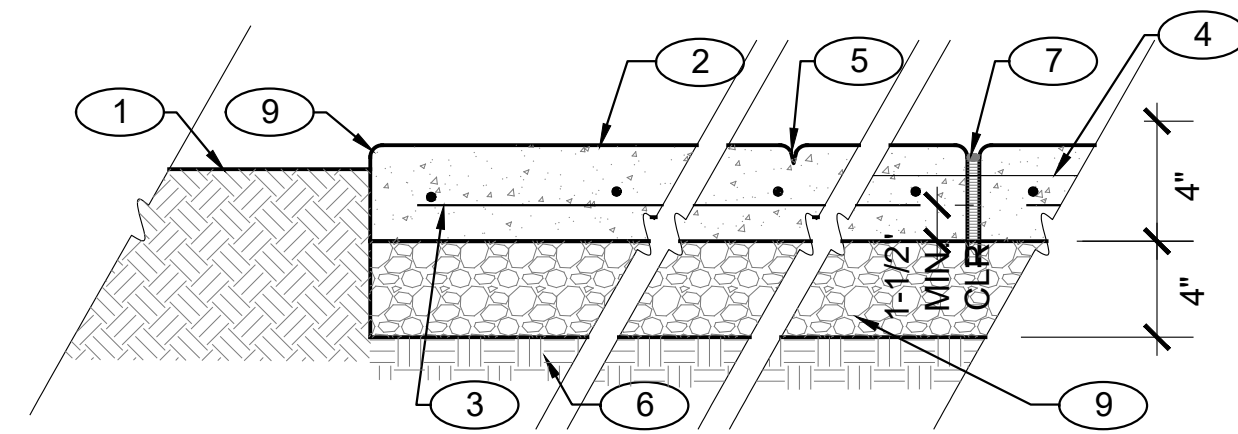
• REFER TO SHEETS L-2.0 TO L-2.1 FOR LANDSCAPE DETAILS.





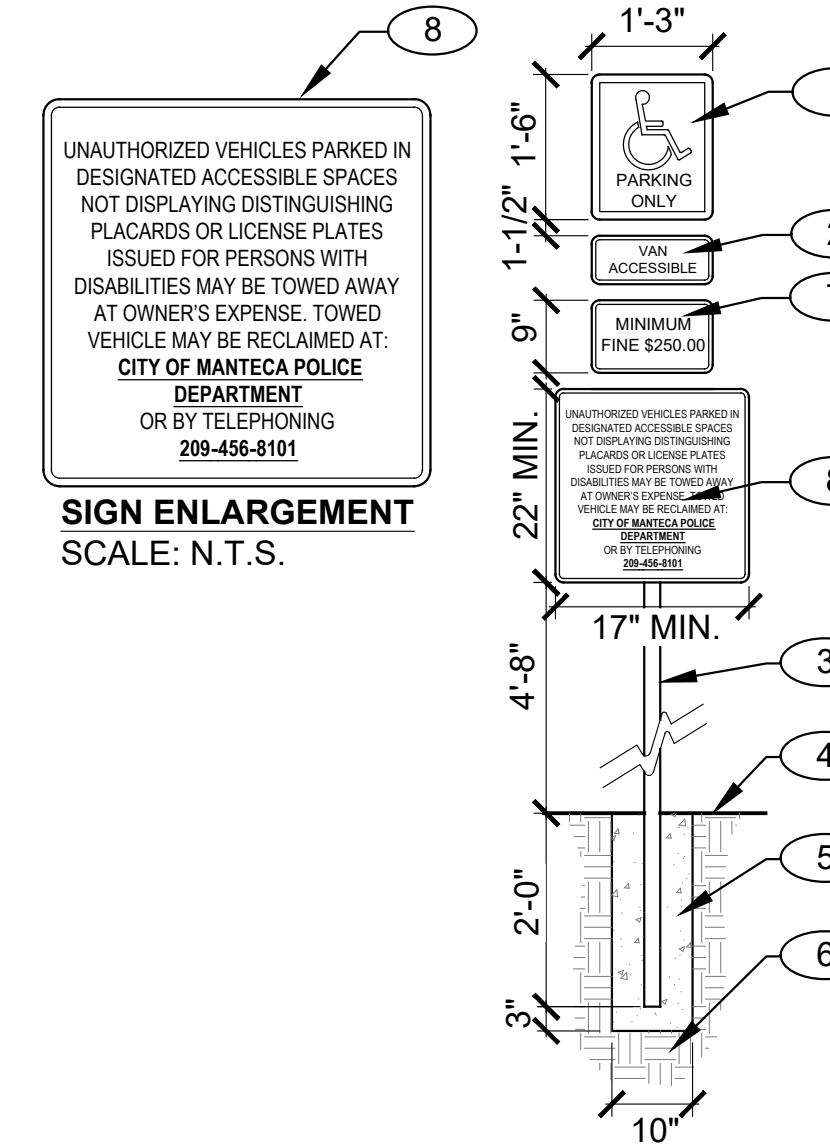
- 1 FINISH GRADE - 2" BELOW TOP OF HEADER AT TURF AREAS AND 1" BELOW TOP OF HEADER AT SHRUB AREAS.
- 2 2x6 FIR, PT #2 OR BETTER WOOD HEADER. SCREW TO STAKES WITH PLATED DECK SCREWS.
- 3 2x3x18" REDWOOD STAKE @ 6' O.C. MIN.
- 4 2" THICK ASPHALT PAVING
- 5 4" CLASS II AGGREGATE BASE MOISTURE CONDITIONED AND COMPACTED TO 95% RELATIVE COMPACTION. SHALL BE FIRM AND UNYIELDING WHEN PROOF ROLLED.
- 6 SUBGRADE MOISTURE CONDITIONED AND COMPACTED TO 95% RELATIVE COMPACTION. SHALL BE FIRM AND UNYIELDING WHEN PROOF ROLLED.

A AC PAVING
SCALE: 1-1/2" = 1'-0"



- 1 FINISH GRADE - 2" BELOW TOP OF PAVING AT TURF AREAS AND 1" BELOW TOP OF PAVING AT SHRUB AREAS.
- 2 CONCRETE SLAB: MEDIUM BROOM FINISH.
- 3 #3 REBAR @ 18" O.C. BOTH WAYS.
- 4 #3 REBAR SLIP DOWELS, EXTEND 12" INTO CONCRETE, 18" O.C., @ ALL EXPANSION JOINTS AND WEHRE NEW CONCRETE IS INSTALLED ADJACENT TO EXISTING CONCRETE.
- 5 1/4" WIDE CONTROL JOINT, 1/3 DEPTH OF SLAB. SEE PLANS FOR LOCATION.
- 6 SUBGRADE MOISTURE CONDITIONED AND COMPACTED TO 95% RELATIVE COMPACTION. SHALL BE FIRM AND UNYIELDING WHEN PROOF ROLLED.
- 7 1/2" IMPREGNATED ASPHALTIC FIBER EXPANSION JOINT (20' O.C. MAX) AND WHERE PAVING MEETS EXISTING PAVING, BLDG SLABS, STRUCTURES, TYP.
- 8 1/2" TOOLED RADIUS.
- 9 CLASS II AGGREGATE BASE MOISTURE CONDITIONED AND COMPACTED TO 95% RELATIVE COMPACTION. SHALL BE FIRM AND UNYIELDING WHEN PROOF ROLLED.

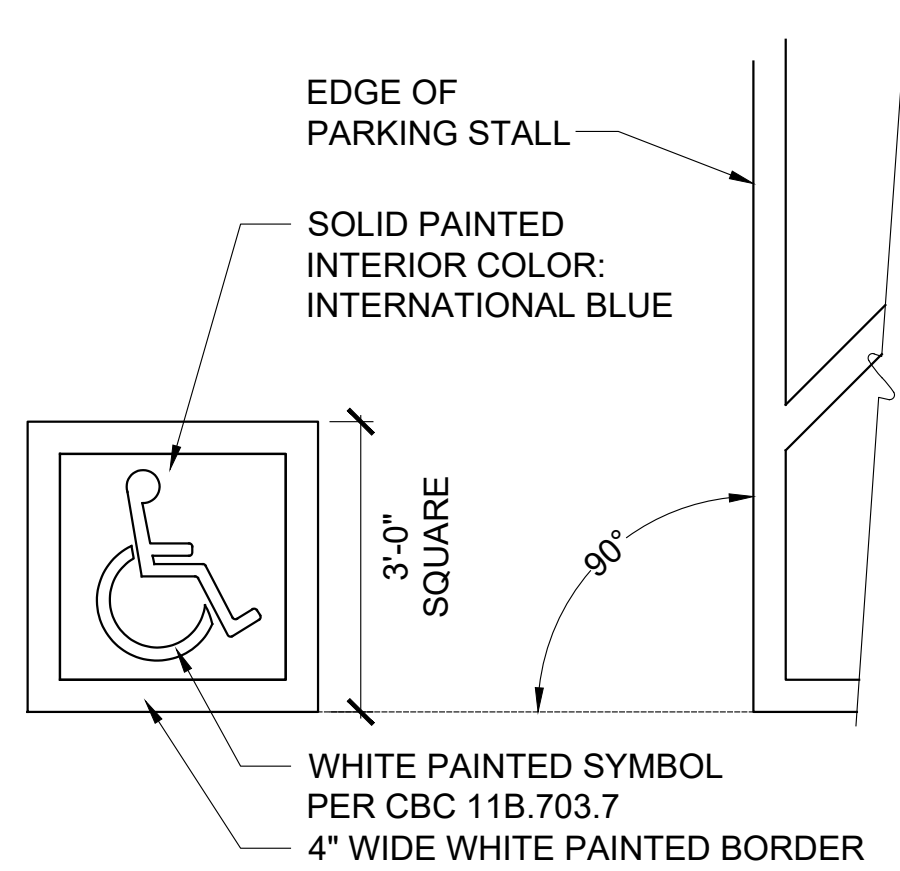
B CONCRETE PAVING
SCALE: 1-1/2" = 1'-0"



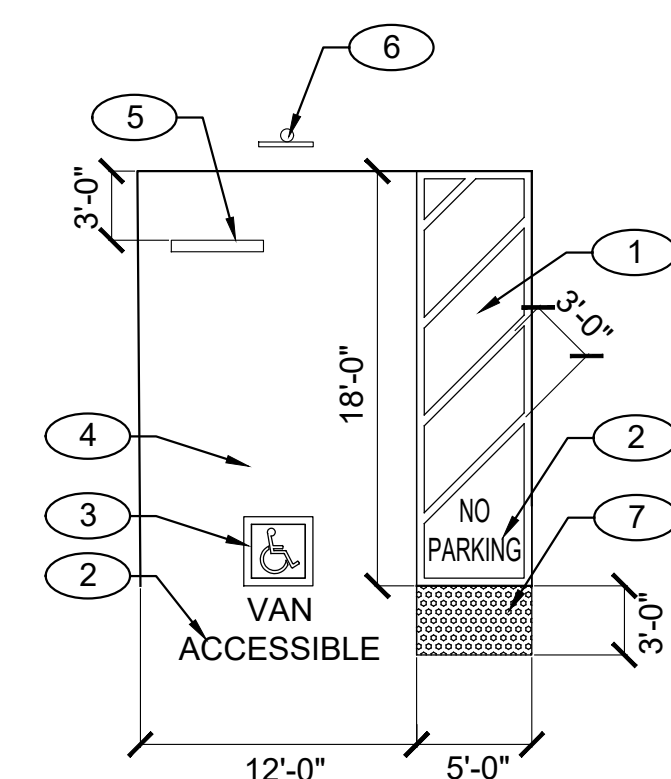
- 1 GALVANIZED SHEET METAL SIGN, 14 GA. MIN. W/2" DIAMETER CORNERS ALL EDGES SMOOTH. BLUE BACKGROUND EQUAL TO COLOR NR 15090 IN FEDERAL STANDARD 595C WITH WHITE REFLECTIVE BORDER AND SYMBOLS OR LETTERING.
- 2 SEPARATE SIGN
- 3 2" DIAMETER GALVANIZED STEEL SIGN POST.
- 4 FINISH GRADE
- 5 CONCRETE FOOTING
- 6 COMPACTED SUBGRADE
- 7 PROVIDE SIGN: "MINIMUM FINE \$250.00"
- 8 1/8" ALUMINUM 'UNAUTHORIZED VEHICLE WARNING' SIGN PANEL PER CBC 11B-502.8

C ADA PARKING SIGN
SCALE: 1/2" = 1'-0"

NOTE:
CHARACTER HEIGHT, WIDTH AND STROKE SHALL COMPLY WITH CBC 11B-703.5.



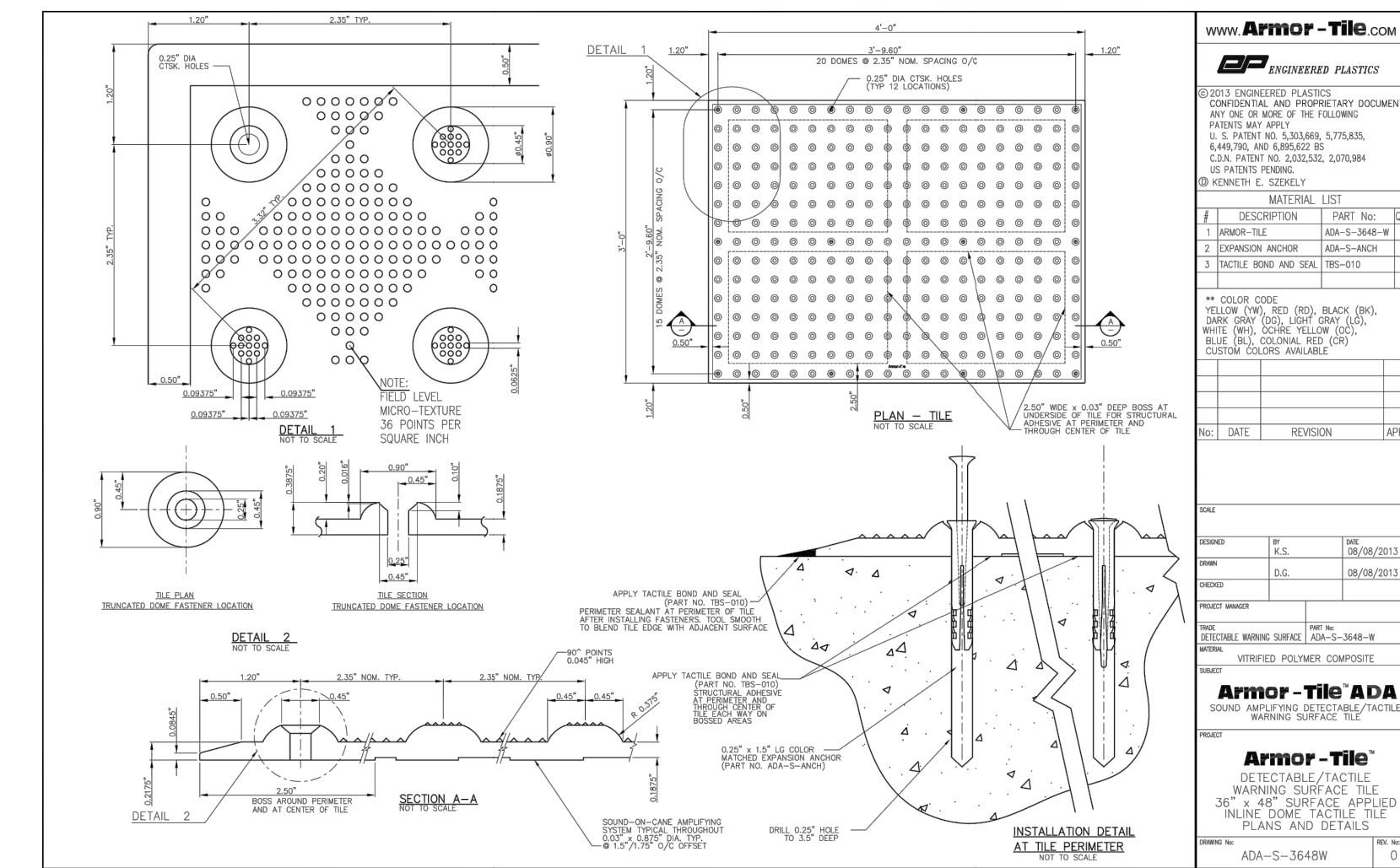
D ADA PARKING STALL SYMBOL
SCALE: 1/2" = 1'-0"



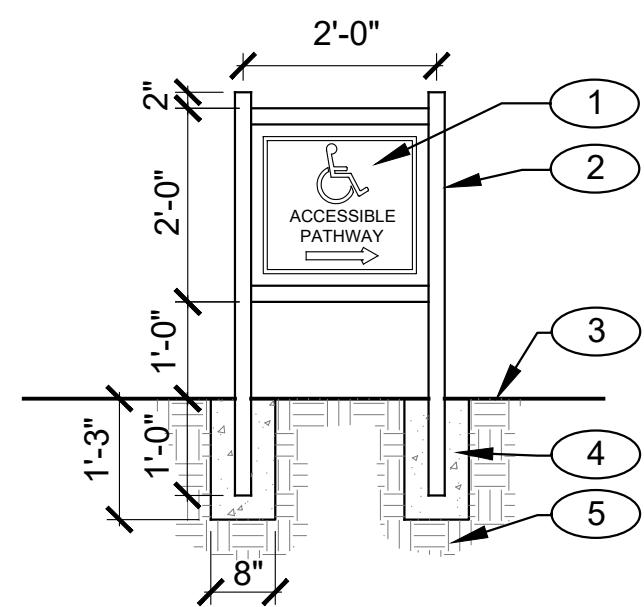
- 1 ACCESS AISLE ON PASSENGER SIDE OF VEHICLE STALL. 4" WHITE LINES DIAGONAL AT 3'-0" MAX CENTERS.
- 2 12" HIGH WHITE LETTERING
- 3 PRINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY STALL EMBLEM. DETAIL D, THIS SHEET.
- 4 VAN ACCESSIBLE PARKING STALL.
- 5 48" WHEEL STOP. WHERE NECESSARY TO PROTECT PATH OF TRAVEL AND/OR SIGN POST.
- 6 PARKING SIGN. CENTER ON STALL, TYPICAL. DETAIL C, THIS SHEET.
- 7 TRUNCATED DOME PANELS. DETAIL F, THIS SHEET.

NOTES:
1. SURFACE OF PARKING STALL AND ACCESS/LOADING AISLE MUST NOT EXCEED 2% IN ANY DIRECTION. RAMPS MAY NOT ENCR OACH INTO REQUIRED STALL OR AISLE DIMENSIONS.
2. STATIC COEFFICIENT OF FRICTION (COF) = 0.60 FOR ACCESSIBLE ROUTES.

E ADA VAN ACCESSIBLE PARKING STALL
SCALE: 1/8" = 1'-0"



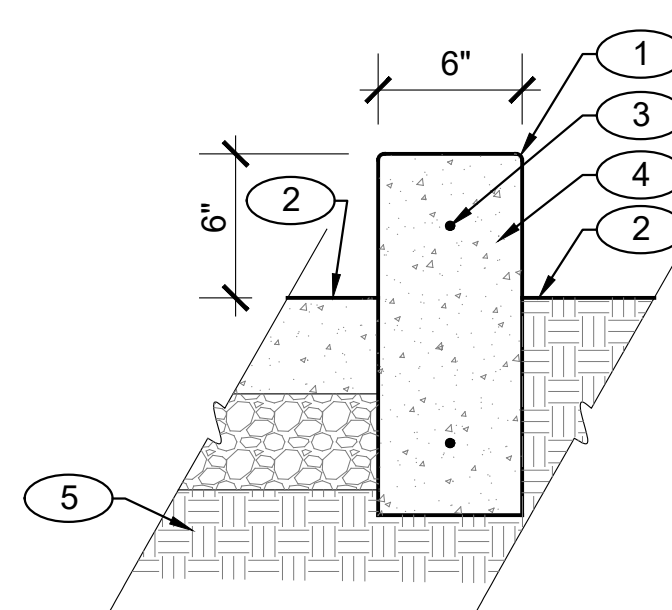
F TRUNCATED DOMES
SCALE: 1-1/2" = 1'-0"



- 1 ADA PATHWAY SIGNAGE
- 2 2x4 SIGNAGE FRAME
- 3 FINISH GRADE
- 4 CONCRETE FOOTING
- 5 COMPACTED SUBGRADE

NOTE:
ALL MATERIALS AND COLORS TO MATCH SIGNAGE PROGRAM PER CLIENT

G ACCESSIBLE ROUTE SIGN
SCALE: 1/2" = 1'-0"



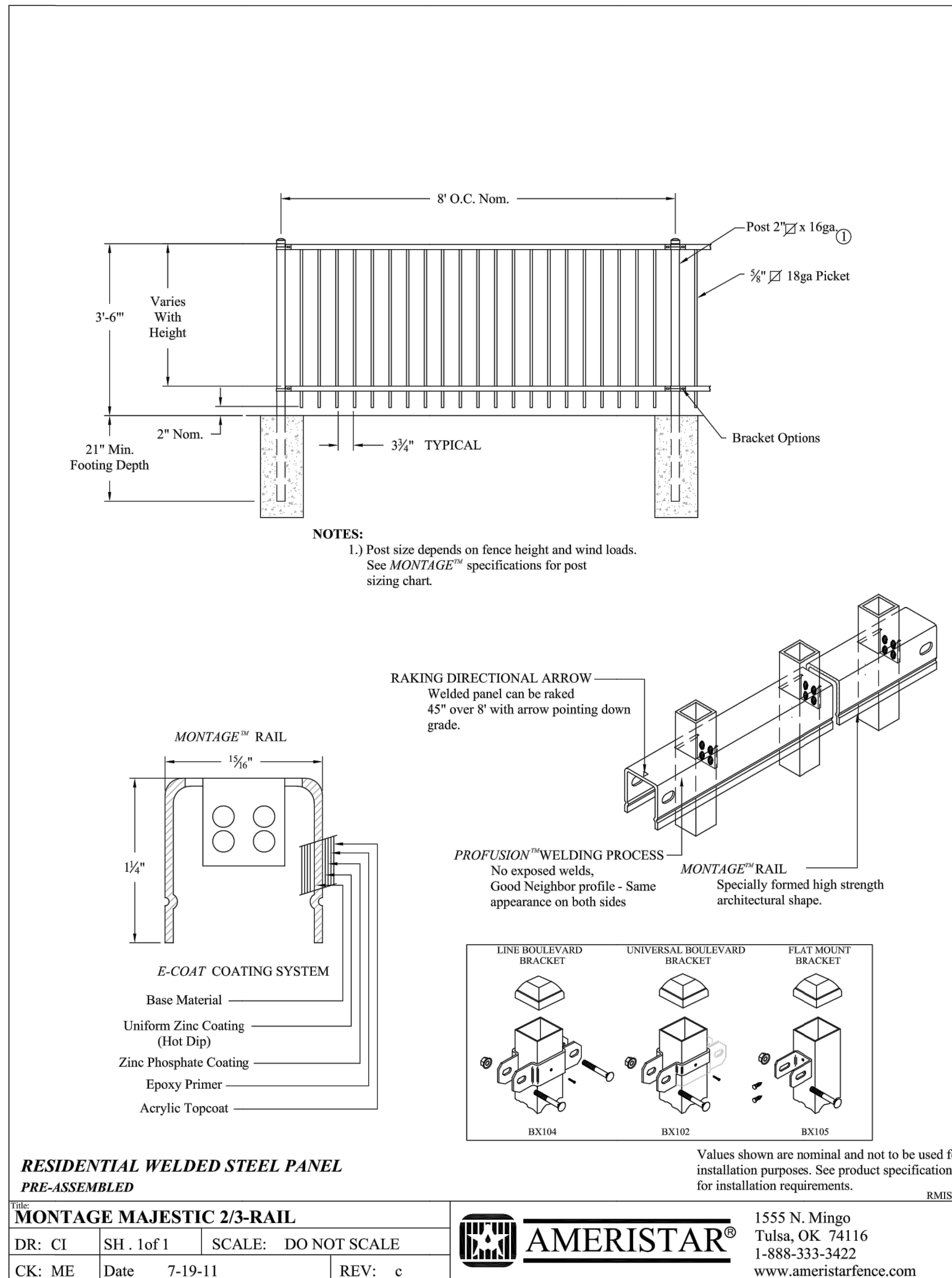
- 1 1/4" RADIUS.
- 2 ADJACENT PAVING/SURFACE PER PLAN.
- 3 #3 HORIZONTAL BAR CONTINUOUS. MIN 12" OVERLAP @ SPLICES.
- 4 POURED-IN-PLACE CONCRETE CURB. CURB TO BE PAINTED RED.
- 5 COMPACTED SUBRADE OR ENGINEERED FILL.

NOTES:
1. PROVIDE DEEP SCORELINES @ 10' O.C. AND FULL DEPTH EXPANSION JOINT @ 20' O.C.

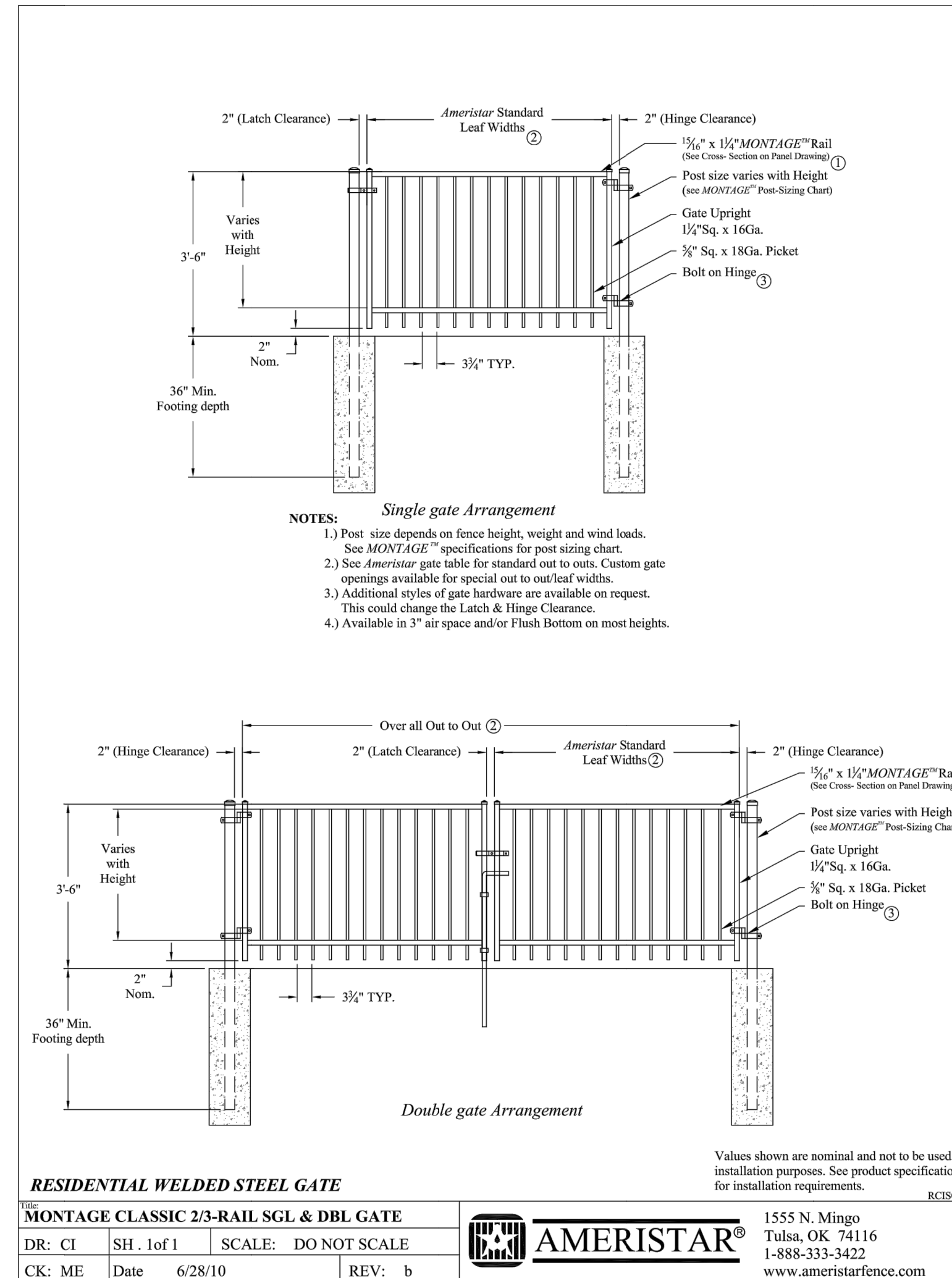
H CONCRETE CURB
SCALE: 1-1/2" = 1'-0"

NO.	DATE	BY	REVISIONS

DATE	APRIL 8, 2021
DRAWN	
DESIGNED	
CHECKED	



A TRAP FENCE
 SCALE: 1-1/2" = 1'-0"



B MAINTENANCE GATE
 SCALE: 1-1/2" = 1'-0"

BY	APPD
REVISIONS	
DATE	
NO.	

STUDIO 1515
 LANDSCAPE ARCHITECTURE
 1426 FOURTH STREET NAPA, CA 94959
 (707) 252-6115

ARBOR BEND PHASE 1 MODEL COMPLEX 3
 TEMPORARY USE PERMIT SET
 LANDSCAPE DETAILS
 MANTECA, CALIFORNIA

DATE	APRIL 8, 2021
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JOB NO.	8120016.0
SHEET NO.	L-2.1