



CITY OF MANTECA

DEVELOPMENT SERVICES DEPARTMENT

November 10, 2021

Trumark Homes
ATTN: Spencer Chapman
3001 Bishop Dr., #100
San Ramon, CA 94583

SUBJECT: TUP-21-140 TRUMARK HOMES VIDA AT THE COLLECTIVE- MODEL COMPLEX AND SALES OFFICE

Dear Applicant:

The City of Manteca Planning Division has reviewed your Temporary Use Permit application for a model complex and sales office. Your project application has been approved with the following conditions:

**City of Manteca Development Services Department, Planning Division
Allison Diaz, Development Services Technician (209) 456-8515**

1. The Temporary Use Permit is only valid for the following dates: November 10, 2021 until the final home is sold for Trumark Homes in the Vida at the Collective (Shadowbrook) Subdivision.
2. Physical distancing and sanitation protocols shall be strictly monitored and enforced at all times during all hours of operation. Failure to adhere to these health standards may result in revocation of this Temporary Use Permit.
3. All related debris shall be removed from the site upon termination of the use.
4. Emergency vehicle access shall be maintained at all times.
5. All on site landscape shall be maintained by property owner.
6. Developer shall obtain permits to meet the requirements of Model Water Efficiency Landscaping Ordinance.
7. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
8. Utility Companies: The applicant is responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
9. Fees: Developer shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

**City of Manteca Development Services Department, Building Safety Division
Lumen Arceo, Senior Plan Check Engineer (209) 456-8560**

10. Developer shall obtain building permits for the parking area, sales office, restroom facility, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC §105.
11. Developer shall provide that all entrances and exterior ground-floor exits to the sales office building shall be accessible and shall comply with CBC §11B-404. CBC §11B-206.4.1.
12. Developer shall comply with all requirements of the Model Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.

If you have questions or if you need supplemental information regarding this letter, please contact me directly at (209) 456-8515 or adiaz@ci.manteca.ca.us

Sincerely,

Allison Diaz

*Allison Diaz, Development Services Technician
Development Services Department, Planning Division*



TEMPORARY USE PERMIT APPLICATION

CITY OF MANTECA, COMMUNITY DEVELOPMENT DEPARTMENT
1001 W. CENTER ST., MANTECA, CA 95337, (209)456-8500
planning@ci.manteca.ca.us

Applicant Info	Property Owner Info
Name: <u>Spencer Chapman</u>	Name: <u>Trumark Construction Services</u>
Address: <u>3001 Bishop Drive, #100</u>	Address: <u>3001 Bishop Drive, #100</u>
City/State/Zip: <u>San Ramon, CA, 94583</u>	City/State/Zip: <u>San Ramon, CA, 94583</u>
Home Telephone: _____	Home Telephone: _____
Mobile No.: <u>925-314-5010</u>	Mobile No.: <u>925-314-5010</u>
E-mail Address: <u>schapman@trumarkco.com</u>	E-mail Address: <u>schapman@trumarkco.com</u>
Fax No.: _____	Fax No.: _____

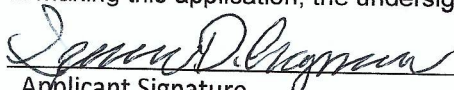
Event Info
Business Name: <u>Trumark Homes- Vida at the Collective</u>
Event Hours: Days: <u>mon-sun 2021-2023</u> Hours: <u>8am-6pm</u>
Event Location: <u>1306 Parkcrest Circle, 1310 Parkcrest Circle, 1312 Parkcrest Circle</u>
Description of Event/ Activities: <u>Model Home Sales office and Sales Complex</u>

Statement of Ownership or Authorization of Agent (Check one item)

- I, the undersigned, am (one of) the legal owner(s) of the land specified in this application.
- I, do hereby authorized and empower Spencer Chapman (agent) to act on my behalf on all matters relating to this application.

Property Owner Signature	Trumark Homes	10/22/2021
	Print Name	Date
<u>3001 Bishop Drive, #100</u>	<u>San Ramon, CA, 94583</u>	<u>925-314-5010</u>
Address	City, State, Zip	Telephone

In making this application, the undersigned agrees that the above information is true and that all conditions will be met.

	Spencer Chapman	10/22/2021
Applicant Signature	Print Name	Date

OFFICE USE ONLY		
Fee: \$568	Receipt No.: <u>2022-00086299</u>	Date Received: <u>10/27/2021</u>
+ \$250 Cleaning Deposit Required. (Christmas tree Lots Only *Send copy of Approved TUP to Superintendent at Solid Waste)		
Approved: <u>X</u> (This is approved for Vida N2 only NOT Dawn N4)	Denied: _____	
Planner Signature: <u>Allison Diaz</u>	Date <u>11/10/2021</u>	
Assessor's Parcel No. (APN): _____	Application Number: <u>21-140</u>	

Conditions of the Temporary Use Permit

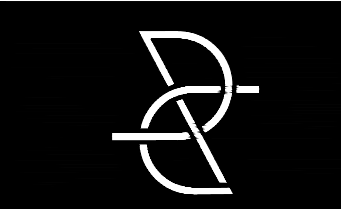
(Please initial all boxes agreeing to comply with all applicable conditions.)

- This Temporary Use Permit is only valid for the dates and times listed on this application.
- Proper building permits shall be obtained for all electrical and structural work through the City of Manteca Building Safety Division at (209) 456-8550.
- All related debris shall be removed from the site upon termination of the use.
- Applicant will provide traffic controls and parking as required by the Public Works Department and the Police Department prior to the event.
- Appropriate permits shall be secured from the San Joaquin County Health Department.
- Emergency vehicle access shall be maintained at all times.
- The placement of merchandise, signs and accessory vehicles/equipment shall not impede traffic circulation of the parking lot or create traffic conditions on _____.
- Proposed activity shall not interfere with existing accessibility features (e.g. accessible parking spaces).
- Applicant shall provide an accessible path of travel from the proposed event site to the public street, accessible parking space and to the accessible restroom facility, if applicable. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. CBC Section 1114B.1.2. Clearly show accessible path of travel on the site plan.
- If parking will be provided, applicant shall provide an accessible parking space.
- If restroom facilities will be provided, applicant shall provide an accessible restroom.
- All gates shall meet all applicable specifications for doors, and shall comply with the following:
- Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.
 - Effort to operate door/gate is 5 pounds max pressure.
 - Latching and locking doors/gates that are hand operated and which are in a path of travel are operable by lever type, panic bars, and push-pull activating bars.
 - Opening hardware is centered between 30" to 44" above finish floor.
 - There shall be a floor or landing on each side of a door/gate, and must be level and clear. Level area in the direction of the door swing is a minimum of 60".
- Applicant shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.
- Applicant shall be responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
- Appropriate direction signs, barricades or fences shall be provided as necessary.
- Applicant shall obtain a valid City business license.
- A water permit and hydrant meter shall be obtained from the Public Works Department. (209) 456-8585
- An acceptable path of egress to the public right-of-way shall be maintained at all time.
- Lessor shall not be responsible or liable for any loss or injury, or damage occurring to Lessee or to the property of Lessee or to third persons, or the property of third persons, in, about, or on said leased premises, no matter how occurring and Lessee will save Lessor harmless for or on account of any loss, injury or damage to any person or persons or their property occurring therein, or resulting from Lessee's operation thereof. Prior to the use of Property, Lessee shall obtain and maintain in force at its sole cost and expense, the following insurance coverage—Comprehensive General and Automobile Liability Insurance (covering use of owned, non-owned, or hired vehicles) with limits of \$1,000,000 per occurrence, Property Damage--\$300,000 per occurrence. Such insurance shall contain provisions insuring the City of Manteca, elected officials, employees, agents, and volunteers as insureds. Such insurance shall be primary to any liability insurance carried by the Lessor. Pursuant to California Government Code Section 818.4, a public entity is not liable for an injury caused by the issuance, denial, suspension or revocation of, or by the failure of refusal to issue, deny, suspend or revoke, any permit, license, certificate, approval, order, or similar authorization where the public entity or an employee of the public entity is authorized by enactment to determine whether or not such authorization should be issued, denied, suspended or revoked.

LANDSCAPE IMPROVEMENT PLANS FOR

'VIDA' (N2) & 'DAWN' (N4)
AT THE COLLECTIVE
MODEL COMPLEX
 MANTECA, CALIFORNIA
 BY TRUEMARK HOMES

Roach & Campbell



111 Scripps Drive
 Sacramento,
 California 95825
 916.945.8003 | 916.342.7119
 4409 CRLA 5044

MODEL
COMPLEX
LANDSCAPE
PLANS FOR

VIDA &
DAWN

(N2 AND N4 AT THE
 COLLECTIVE)
 MANTECA, CA

BY TRUMARK
HOMES

KEYMAP:

COVER SHEET

DRAWN BY:

CHECKED BY:

WDR

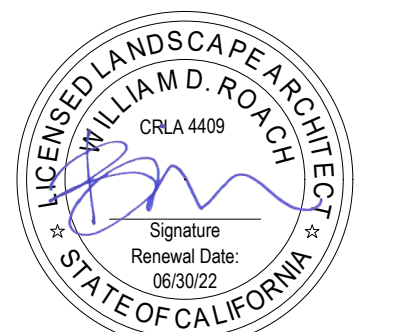
JOB NO.

21040

DATE

SEPTEMBER 17, 2021

REVISIONS:



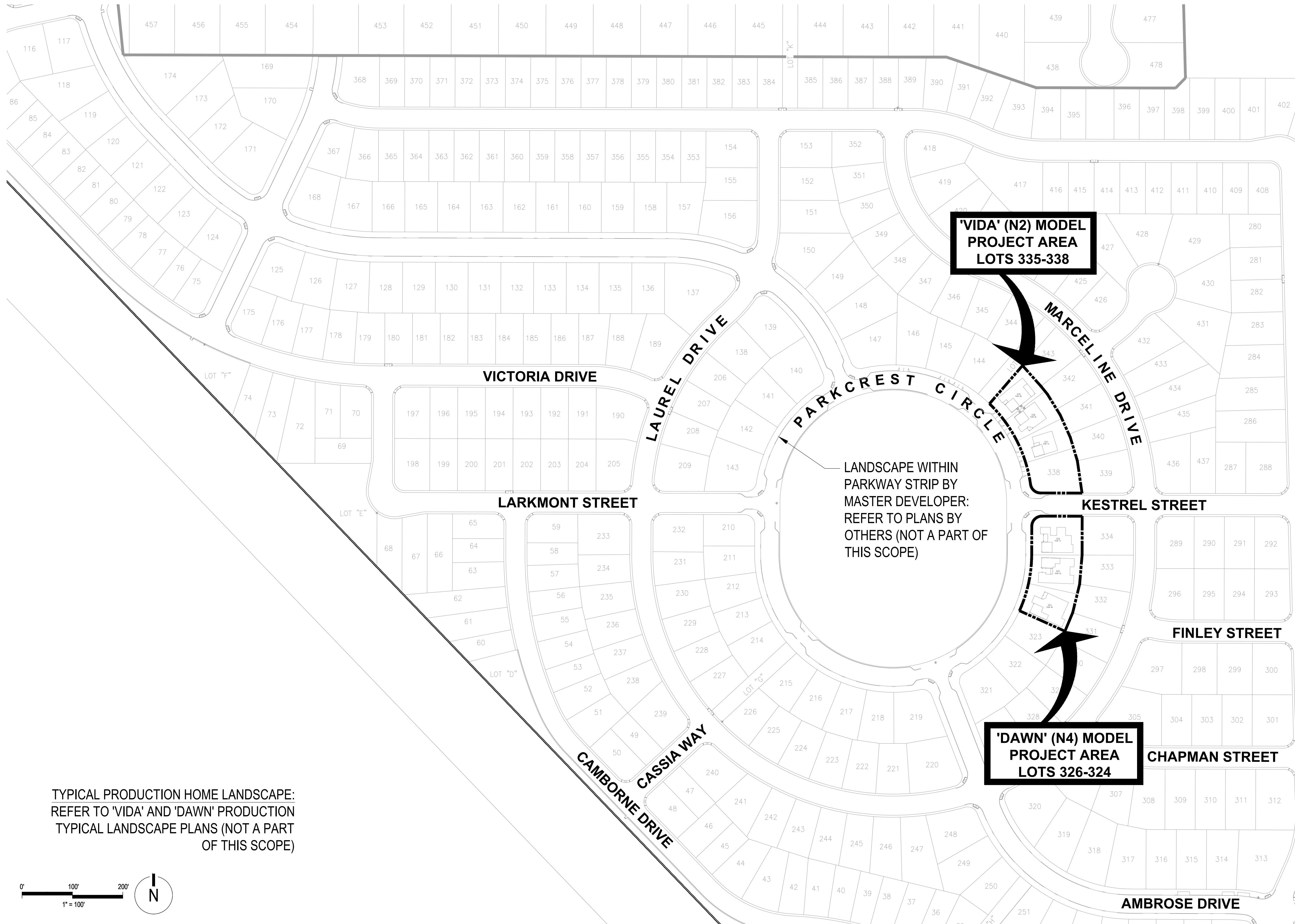
DATE SIGNED: 09/17/21

CS

DRAWINGS IN SET:

CLIENT REVIEW/FIRST SUBMITTAL - NOT FOR CONSTRUCTION

PROJECT MAP



APPLICABLE CODES:

2019 CALIFORNIA BUILDING STANDARDS CODE, TITLE 24, PARTS 1-12
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA GREEN (CALGREEN) BUILDING STANDARDS CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 CITY OF MANTECA ZONING/MUNICIPAL CODE

DIRECTORY

BUILDER/OWNER:	LANDSCAPE ARCHITECT:
TRUEMARK HOMES 3001 BISHOP DR., STE. 100 SAN RAMON, CA 94583	ROACH + CAMPBELL 111 SCRIPPS DRIVE SACRAMENTO, CA 95825
PROJECT CONTACT: GARRETT HINDS	BILL ROACH, ASLA CELL: 916-945-8003
PHONE: (925) 999-3970	

SHEET INDEX

CS	COVER SHEET
L1.1	VIDA - LAYOUT PLAN
L1.2	DAWN - LAYOUT PLAN
L1.3	VIDA - GRADING AND DRAINAGE PLAN
L1.4	DAWN - GRADING AND DRAINAGE PLAN
L2.1	CONSTRUCTION DETAILS
L2.2	CONSTRUCTION DETAILS
L2.3	CONSTRUCTION DETAILS
L2.4	CONSTRUCTION DETAILS
L3.1	VIDA IRRIGATION PLAN
L3.2	DAWN IRRIGATION PLAN
L3.3	IRRIGATION LEGEND, NOTES, AND DETAILS
L3.4	IRRIGATION DETAILS
L4.1	VIDA PLANTING PLAN
L4.2	DAWN PLANTING PLAN
L4.3	PLANTING LEGEND AND CALCULATIONS
L4.4	PLANTING DETAILS AND NOTES
L4.5	PLANTING SUPPORT

CONSTRUCTION NOTES

- LOCAL CODES AND ORDINANCES: WORK SHALL CONFORM TO ALL LOCAL CODES, ORDINANCES, AND REQUIREMENTS, INCLUDING FEDERAL ACCESSIBILITY GUIDELINES. NOTHING IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS AN EXEMPTION TO APPLICABLE CODES OR OTHER JURISDICTIONAL REQUIREMENTS.
- UTILITIES: CONTACT COMMON GROUND ALLIANCE (C.G.A.) AT 811, AT LEAST TWO WORKING DAYS IN ADVANCE OF WORK (PER CA GOV. CODE 4216). THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, AND SHALL PAY FOR ANY REPAIRS REQUIRED DUE TO THE CONTRACTOR'S OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DISCREPANCIES: NOTIFY OWNER'S REPRESENTATIVE OF ANY VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. DO NOT PROCEED WHERE DIFFERENCES EXIST THAT WOULD AFFECT THE WORK. ALL ADJUSTMENTS DUE TO FIELD CONDITIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONTINUING.
- LAYOUT NOTES: THE WRITTEN DIMENSION SUPERCEDES SCALED OR GRAPHIC DENOTATION. DIMENSIONS ARE BETWEEN PARALLEL OR PERPENDICULAR POINTS UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO CENTERLINE OR FACE OF MASONRY, CONCRETE, OR FRAMING SUBSTRATE FINISH SURFACES, UNLESS NOTED OTHERWISE.
- COORDINATION: CONTRACTOR SHALL COORDINATE WORK BETWEEN TRADES. ALL REQUIRED SLEEVING SHALL BE COORDINATED WITH SITE WORK, INCLUDING OTHER UNDERGROUND UTILITIES, CURBS, AND CONCRETE.
- VERTICAL WORK: ALL VERTICAL CONSTRUCTION SHALL BE INSTALLED TRUE AND PLUMB. ALL UNIT COURSING AND TOPS OF WALLS, FENCES, ETC. SHALL BE LEVEL UNLESS NOTED OTHERWISE. ALL CURVES SHALL BE CONTINUOUS AND EVEN, WITH NO BREAKS OR ANGLES AT POINTS OF TANGENCY OR FORMWORK JOINTING.
- EXISTING WORK: WHERE NEW CONSTRUCTION ABUTS EXISTING WORK, ALL EXISTING WORK SHALL BE PROTECTED. CONTRACTOR SHALL REPLACE ANY DAMAGED EXISTING WORK AT NO ADDITIONAL EXPENSE TO THE OWNER. ALL NEW WORK WILL CONFORM TO TO EXISTING WORK, INCLUDING FLATWORK JOINTS, ELEVATIONS, COLOR, AND FINISH.

PAVING LEGEND

- P1A FIELD: CONCRETE PAVING, STANDARD GRAY, BROOM FINISH. TOOLED SCORE JOINTS AS SHOWN PER PLAN. PEDESTRIAN SECTION PER DETAILS, VEHICULAR SECTION PER GEOTECHNICAL REPORT (VERIFY W/ BUILDER)
- P1B FIELD: AS ABOVE, BUT WITH TOPCAST #05 SANDBLAST FINISH I.L.O. BROOMED.
- P2 FIELD: CONCRETE PAVING, INTEGRAL DAVIS COLOR: SIERRA#1078. SANDBLAST FINISH WITH TOPCAST #05 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. TOOLED SCORE JOINTS AS SHOWN PER PLAN.
- P3 FIELD: CONCRETE PAVING, INTEGRAL DAVIS COLOR: SAN DIEGO BUFF #5237. SANDBLAST FINISH WITH TOPCAST #05 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. TOOLED SCORE JOINTS AS SHOWN PER PLAN.
- P4 PARKING LOT: MIN. SECTION 1-1/2" AC OVER 3-1/2" CLASS II AGGREGATE BASE COMPACTED TO 95% RELATIVE DENSITY OVER 6" SUBGRADE COMPACTED TO 90% RELATIVE DENSITY. OVER-POUR AND SAWCUT EDGES TO DIMENSIONS SHOWN. VERIFY SECTION WITH BUILDER.
- P5 DECORATIVE GRAVEL MULCH, 2" LAYER OVER COMPACTED GRADE. 1" "BURNT TOAST" AS AVAIL. FROM DECORATIVE STONE SOLUTIONS OR EQUAL. SUBMIT SAMPLE FOR APPROVAL PRIOR TO PURCHASE OR INSTALLATION.
- P6 FIELD: CONCRETE PAVING, INTEGRAL DAVIS COLOR: LIGHT GRAY (LB #8084). SANDBLAST FINISH WITH TOPCAST #05 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. TOOLED SCORE JOINTS AS SHOWN PER PLAN.

- NOTES:
 A. VEHICULAR PAVING (DRIVEWAYS) SECTION SHALL BE CONSTRUCTED PER APPLICABLE PROJECT GEOTECHNICAL REPORT PROVIDED BY BUILDER. DO NOT CONSTRUCT VEHICULAR PAVING AS PEDESTRIAN PAVING.
 B. INSTALL ALL PRODUCTS PER MANUFACTURER'S INSTRUCTIONS AND RELEVANT INDUSTRY GUIDELINES.

LAYOUT LEGEND

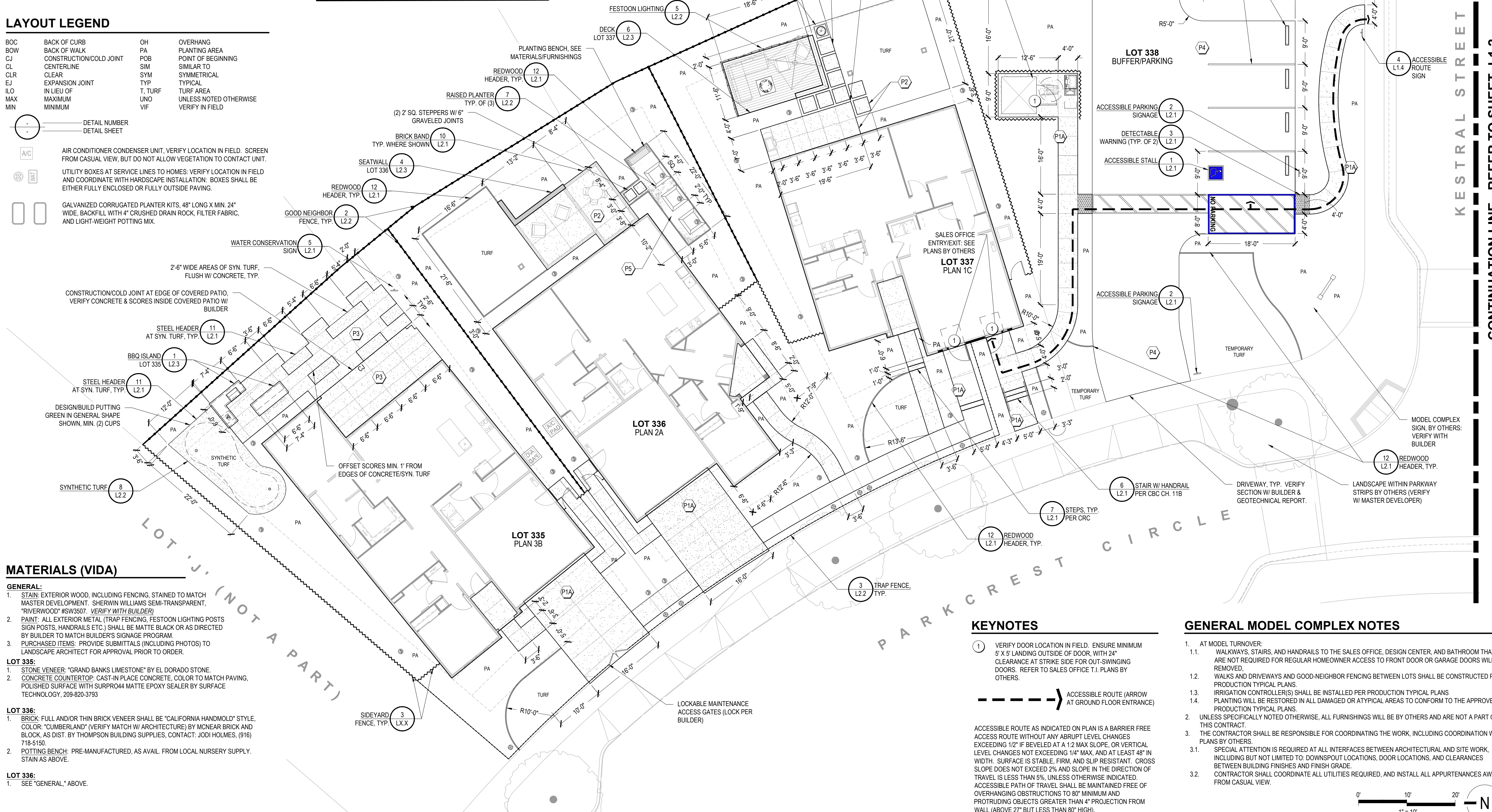
- | | | | |
|-----|-------------------------|---------|------------------------|
| BOC | BACK OF CURB | OH | OVERHANG |
| BOW | BACK OF WALK | PA | PLANTING AREA |
| CJ | CONSTRUCTION/COLD JOINT | POB | POINT OF BEGINNING |
| CL | CENTERLINE | SIM | SIMILAR TO |
| CLR | CLEAR | SYM | SYMMETRICAL |
| EJ | EXPANSION JOINT | TYP | TYPICAL |
| ILO | IN LIEU OF | T, TURF | TURF AREA |
| MAX | MAXIMUM | UNO | UNLESS NOTED OTHERWISE |
| MIN | MINIMUM | VIF | VERIFY IN FIELD |

- DETAIL NUMBER
- DETAIL SHEET
- AC AIR CONDITIONER CONDENSER UNIT, VERIFY LOCATION IN FIELD. SCREEN FROM CASUAL VIEW, BUT DO NOT ALLOW VEGETATION TO CONTACT UNIT.
- UB UTILITY BOXES AT SERVICE LINES TO HOMES: VERIFY LOCATION IN FIELD AND COORDINATE WITH HARDSCAPE INSTALLATION: BOXES SHALL BE EITHER FULLY ENCLOSED OR FULLY OUTSIDE PAVING.
- GC GALVANIZED CORRUGATED PLANTER KITS, 48" LONG X MIN. 24" WIDE, BACKFILL WITH 4" CRUSHED DRAIN ROCK, FILTER FABRIC, AND LIGHT-WEIGHT POTTING MIX.

PROJECT INFORMATION:

(EXCLUDES TEMPORARY AREAS WITHIN BUFFER LOTS, WHICH ARE INCLUDED WITHIN PRODUCTION TYPICAL LANDSCAPE PLANS)
 TOTAL LANDSCAPE AREA (SQ. FT.): 16,494
 TURF AREA (SQ. FT.): 3,290
 NON-TURF PLANTING AREA (SQ. FT.): 13,204

"VIDA" (L1.1, L1.3, L3.1, AND L4.1)		"DAWN" (L1.2, L1.4, L3.2, AND L4.2)	
LOT 335	(SF)	LOT 326	(SF)
TOTAL LANDSCAPE AREA	1,971	TOTAL LANDSCAPE AREA	3,871
TURF AREA	179	TURF AREA	773
NON-TURF PLANTING AREA	1,792	NON-TURF PLANTING AREA	3,098
LOT 336	(SF)	LOT 325	(SF)
TOTAL LANDSCAPE AREA	2,451	TOTAL LANDSCAPE AREA	2,870
TURF AREA	334	TURF AREA	751
NON-TURF PLANTING AREA	2,117	NON-TURF PLANTING AREA	2,119
LOT 337	(SF)	LOT 324	(SF)
TOTAL LANDSCAPE AREA	2,825	TOTAL LANDSCAPE AREA	2,506
TURF AREA	641	TURF AREA	612
NON-TURF PLANTING AREA	2,184	NON-TURF PLANTING AREA	1,894



MATERIALS (VIDA)

- GENERAL:**
- STAIN: EXTERIOR WOOD, INCLUDING FENCING, STAINED TO MATCH MASTER DEVELOPMENT. SHERWIN WILLIAMS SEMI-TRANSPARENT, "RIVERWOOD" #SW3507. VERIFY WITH BUILDER.
 - PAINT: ALL EXTERIOR METAL (TRAP FENCING, FESTOON LIGHTING POSTS SIGN POSTS, HANDRAILS ETC.) SHALL BE MATTE BLACK OR AS DIRECTED BY BUILDER TO MATCH BUILDER'S SIGNAGE PROGRAM.
 - PURCHASED ITEMS: PROVIDE SUBMITTALS (INCLUDING PHOTOS) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDER.
- LOT 335:**
- STONE VENEER: "GRAND BANKS LIMESTONE" BY EL DORADO STONE. CONCRETE COUNTERTOP: CAST-IN PLACE CONCRETE. COLOR TO MATCH PAVING, POLISHED SURFACE WITH SURPRO44 MATTE EPOXY SEALER BY SURFACE TECHNOLOGY, 209-820-3793
- LOT 336:**
- BRICK: FULL AND/OR THIN BRICK VENEER SHALL BE "CALIFORNIA HANDMOLD" STYLE. COLOR: "CUMBERLAND" (VERIFY MATCH W/ ARCHITECTURE) BY MCNEAR BRICK AND BLOCK, AS DIST. BY THOMPSON BUILDING SUPPLIES, CONTACT: JODI HOLMES, (916) 718-5150.
 - POTTING BENCH: PRE-MANUFACTURED, AS AVAIL. FROM LOCAL NURSERY SUPPLY. STAIN AS ABOVE.
- LOT 337:**
- SEE "GENERAL," ABOVE.

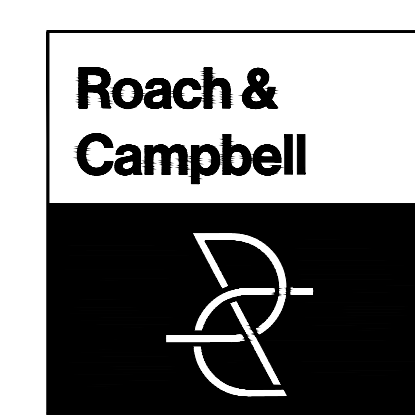
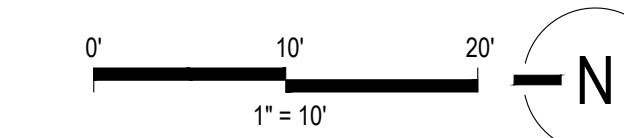
KEYNOTES

- VERIFY DOOR LOCATION IN FIELD. ENSURE MINIMUM 5' X 5' LANDING OUTSIDE OF DOOR, WITH 24" CLEARANCE AT STRIKE SIDE FOR OUT-SWINGING DOORS. REFER TO SALES OFFICE T.1. PLANS BY OTHERS.
- ACCESSIBLE ROUTE (ARROW AT GROUND FLOOR ENTRANCE)

ACCESSIBLE ROUTE AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT A 1:2 MAX SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX, AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL (ABOVE 27" BUT LESS THAN 80" HIGH).

GENERAL MODEL COMPLEX NOTES

- AT MODEL TURNOVER:
 - WALKWAYS, STAIRS, AND HANDRAILS TO THE SALES OFFICE, DESIGN CENTER, AND BATHROOM THAT ARE NOT REQUIRED FOR REGULAR HOMEOWNER ACCESS TO FRONT DOOR OR GARAGE DOORS WILL BE REMOVED.
 - WALKS AND DRIVEWAYS AND GOOD-NEIGHBOR FENCING BETWEEN LOTS SHALL BE CONSTRUCTED PER PRODUCTION TYPICAL PLANS.
 - IRRIGATION CONTROLLER(S) SHALL BE INSTALLED PER PRODUCTION TYPICAL PLANS.
 - PLANTING WILL BE RESTORED IN ALL DAMAGED OR ATYPICAL AREAS TO CONFORM TO THE APPROVED PRODUCTION TYPICAL PLANS.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL FURNISHINGS WILL BE BY OTHERS AND ARE NOT A PART OF THIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK, INCLUDING COORDINATION WITH PLANS BY OTHERS.
 - SPECIAL ATTENTION IS REQUIRED AT ALL INTERFACES BETWEEN ARCHITECTURAL AND SITE WORK, INCLUDING BUT NOT LIMITED TO: DOWNSPOUT LOCATIONS, DOOR LOCATIONS, AND CLEARANCES BETWEEN BUILDING FINISHES AND FINISH GRADE.
 - CONTRACTOR SHALL COORDINATE ALL UTILITIES REQUIRED, AND INSTALL ALL APPURTENANCES AWAY FROM CASUAL VIEW.



111 Scripps Drive
 Sacramento,
 California 95825
 916.945.8003 | 916.342.7119
 4409 CRA 5044

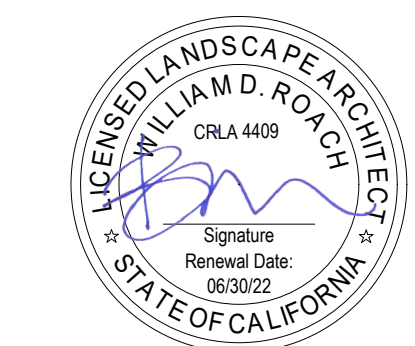
MODEL COMPLEX LANDSCAPE PLANS FOR VIDA & DAWN
 (N2 AND N4 AT THE COLLECTIVE)
 MANTECA, CA

BY TRUMARK HOMES

KEYMAP:

VIDA LAYOUT PLAN

DRAWN BY:
 CHECKED BY:
 WDR
 JOB NO.
 21040
 DATE
 SEPTEMBER 17, 2021
 REVISIONS:



DATE SIGNED: 09/17/21

L1.1

CLIENT REVIEW/FIRST SUBMITTAL - NOT FOR CONSTRUCTION

GRADING NOTES

1. SITE ACCEPTANCE: CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO ACCEPTING THE SITE. ALL ROUGH GRADING SHALL BE COMPLETE. REPORT ANY DISCREPANCIES TO THE OWNER OR LANDSCAPE ARCHITECT. BEGINNING WORK CONSTITUTES ACCEPTANCE OF SITE.
2. UNDERGROUND UTILITIES: VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. CALL C.G.A. (811) TO LOCATE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITIES. TO THE SATISFACTORY OF THE OWNER AND GOVERNING AGENCY AT NO COST TO THE OWNER OR INCREASE IN BID AMOUNT.
3. POSITIVE DRAINAGE: CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IN ALL LANDSCAPE AREAS, AND SHALL ADJUST ELEVATIONS AS REQUIRED. MINIMUM SLOPE IN TURF AREAS SHALL BE 0.5% TO OUTLET, MINIMUM SLOPE IN PLANTED AREAS SHALL BE 1.0%.
4. SLOPES IN PAVED AREAS: UNLESS OTHERWISE NOTED, CROSS-SLOPE SHALL BE 0.5%, MINIMUM ACROSS POURED IN PLACE OR UNIT PAVING, AND 1.0% ACROSS ASPHALT, DECOMPOSED GRANITE, STONE PAVING, OR OTHER SURFACES. CROSS SLOPES SHALL NOT EXCEED 2.0% OR ADA REQUIREMENTS.
5. COORDINATION: THESE PLANS ARE BASED ON FINISH FLOOR ELEVATIONS, EXISTING ELEVATIONS, AND OTHER INFORMATION PROVIDED BY OTHERS. THIS INFORMATION SHALL BE VERIFIED PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE ARCHITECTURAL PLANS, INCLUDE THRESHOLD REQUIREMENTS, AND REQUIRED CLEARANCES TO GRADE OUTSIDE BUILDING FINISH FLOOR ELEVATIONS.
6. CODES AND OTHER REQUIREMENTS: COMPLY WITH ALL CODES AND JURISDICTIONAL REQUIREMENTS, INCLUDING ACCESSIBILITY UNDER BOTH LOCAL CODES AND FEDERAL GUIDELINES.
7. DOWNSPOUTS: CONNECT ALL DOWNSPOUTS TO THE SITE DRAINAGE SYSTEM UNLESS OTHERWISE NOTED.

KEYNOTES

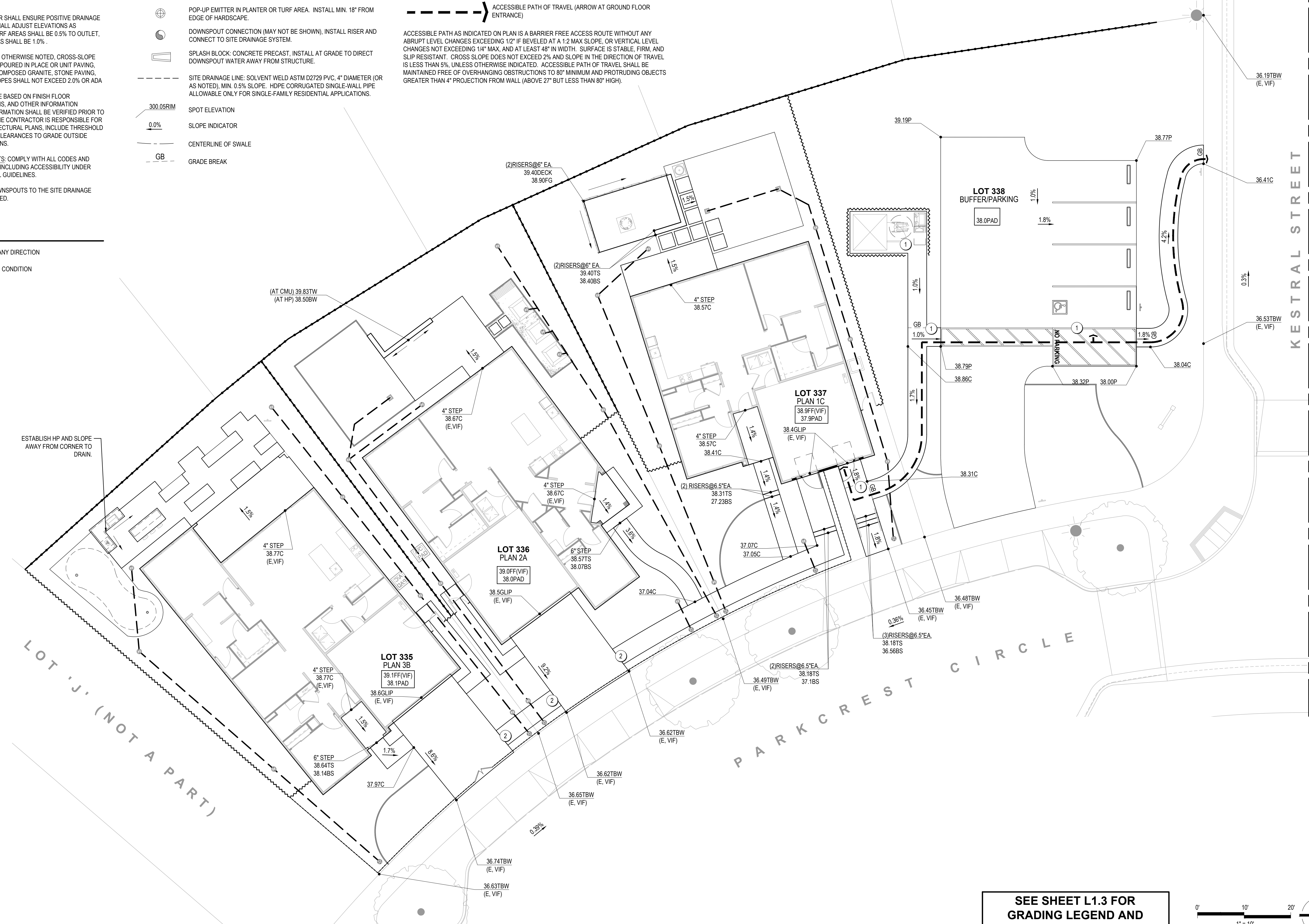
- 1 ENSURE NO MORE THAN 2% IN ANY DIRECTION
- 2 WARPED PANEL TO MATCH ADJ. CONDITION

GRADING LEGEND

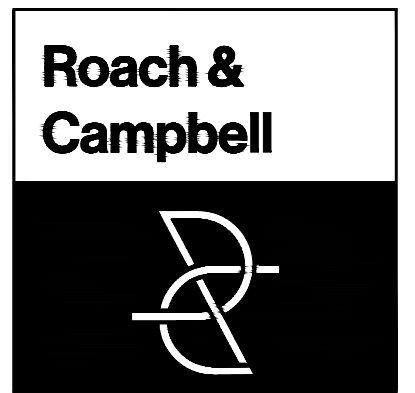
	AREA DRAIN IN PAVEMENT, 8" MINIMUM, ADS NYLOPLAST OR EQUAL, PROVIDE ADA-COMPLIANT GRATE FOR ALL PEDESTRIAN PAVING AREAS, AND H-20 RATED GRATE FOR ALL VEHICULAR AREAS.	ADJ.	ADJACENT	GB	GRADE BREAK
	AREA DRAIN IN PLANTER, 8" MINIMUM, ADS NYLOPLAST OR EQUAL, PROVIDE DOMED ATRIUM GRATE IN PLANTER AREAS.	BC	BOTTOM OF CURB	HP	HIGH POINT
	AREA DRAIN IN TURF, 8" MINIMUM, ADS NYLOPLAST OR EQUAL, PROVIDE FLAT GRATE, GREEN, IN TURF AREAS.	BOC	BACK OF CURB	HPS	HIGH POINT OF SWALE
	INLET OR END INLET WITH MIN. 4" DOMED ATRIUM GRATE. INSTALL ON RISER OFF WYE OR ELL ON DRAINAGE LINE IN DIRECTION OF FLOW.	BS	BOTTOM OF STEP/STAIR	INV	INVERT (IN/OUT)
	POP-UP EMITTER IN PLANTER OR TURF AREA. INSTALL MIN. 18" FROM EDGE OF HARDSCAPE.	BW	BACK OF WALK, BOTTOM OF WALL	TC	TOP OF CURB
	DOWNSPOUT CONNECTION (MAY NOT BE SHOWN), INSTALL RISER AND CONNECT TO SITE DRAINAGE SYSTEM.	CL	CENTERLINE	TS	TOP OF STEP/STAIR
	SPLASH BLOCK, CONCRETE PRECAST, INSTALL AT GRADE TO DIRECT DOWNSPOUT WATER AWAY FROM STRUCTURE.	DW	DRIVEWAY	TP	TOP OF PLASTER
	SITE DRAINAGE LINE: SOLVENT WELD ASTM D2729 PVC, 4" DIAMETER (OR AS NOTED), MIN. 0.5% SLOPE. HDPE CORRUGATED SINGLE-WALL PIPE ALLOWABLE ONLY FOR SINGLE-FAMILY RESIDENTIAL APPLICATIONS.	E, EX	EXISTING	TW	TOP OF WALL
	SPOT ELEVATION	FL	FLOW LINE	P	PAVEMENT
	SLOPE INDICATOR	FOC	FACE OF CURB	RIM	DRAINAGE STRUCTURE RIM
	CENTERLINE OF SWALE			VIF	VERIFY IN FIELD
	GRADE BREAK				

ACCESSIBLE PATH OF TRAVEL (ARROW AT GROUND FLOOR ENTRANCE)

ACCESSIBLE PATH AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT A 1:2 MAX SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL (ABOVE 27" BUT LESS THAN 80" HIGH).



SEE SHEET L1.3 FOR GRADING LEGEND AND NOTES



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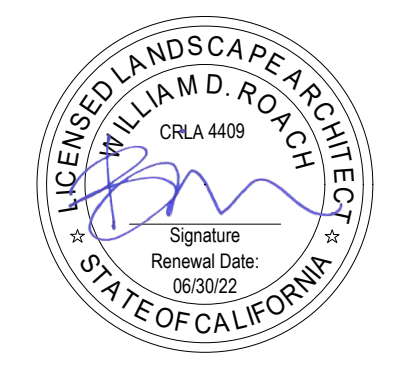
MODEL COMPLEX LANDSCAPE PLANS FOR VIDA & DAWN
(N2 AND N4 AT THE COLLECTIVE)
MANTECA, CA

BY TRUMARK HOMES

KEYMAP:

VIDA GRADING AND DRAINAGE PLAN

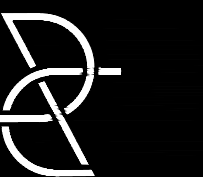
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L1.3

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**MODEL
COMPLEX
LANDSCAPE
PLANS FOR**

**VIDA &
DAWN**

(N2 AND N4 AT THE
COLLECTIVE)
MANTECA, CA

**BY TRUMARK
HOMES**

KEYMAP:

CONSTRUCTION DETAILS

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CHECKED BY:

WDR

JOB NO.

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DATE

SEPTEMBER 17, 2021

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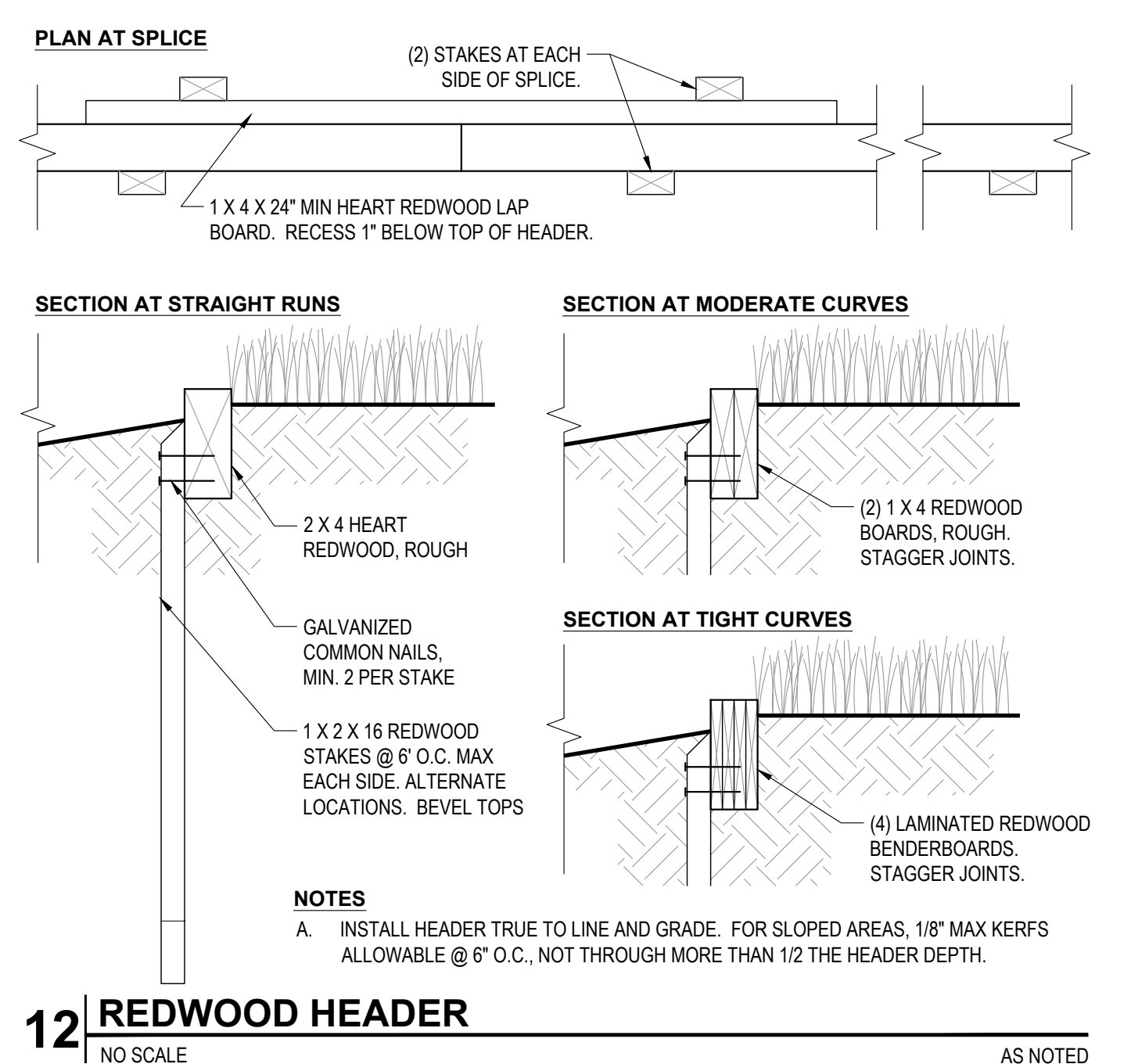
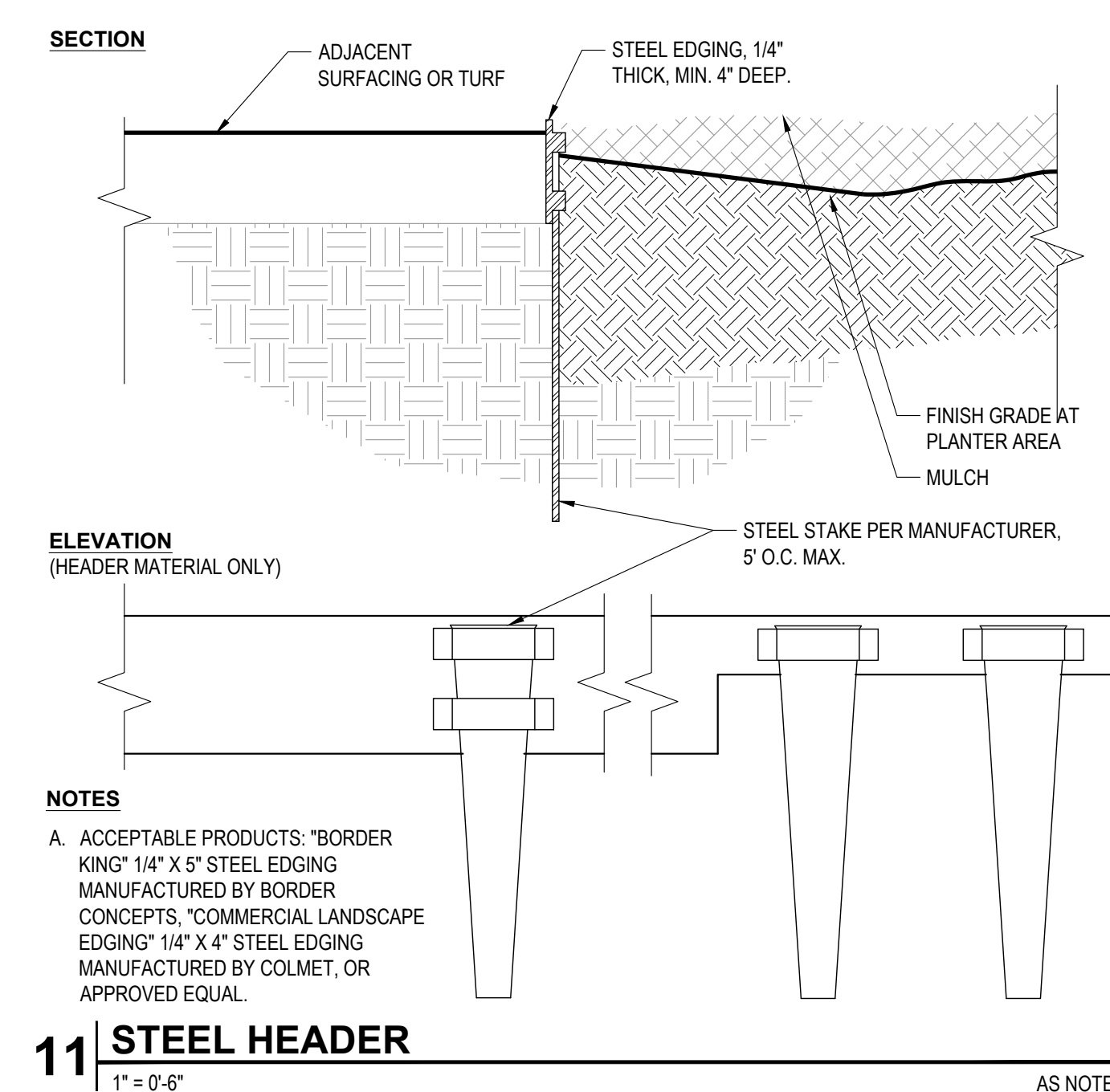
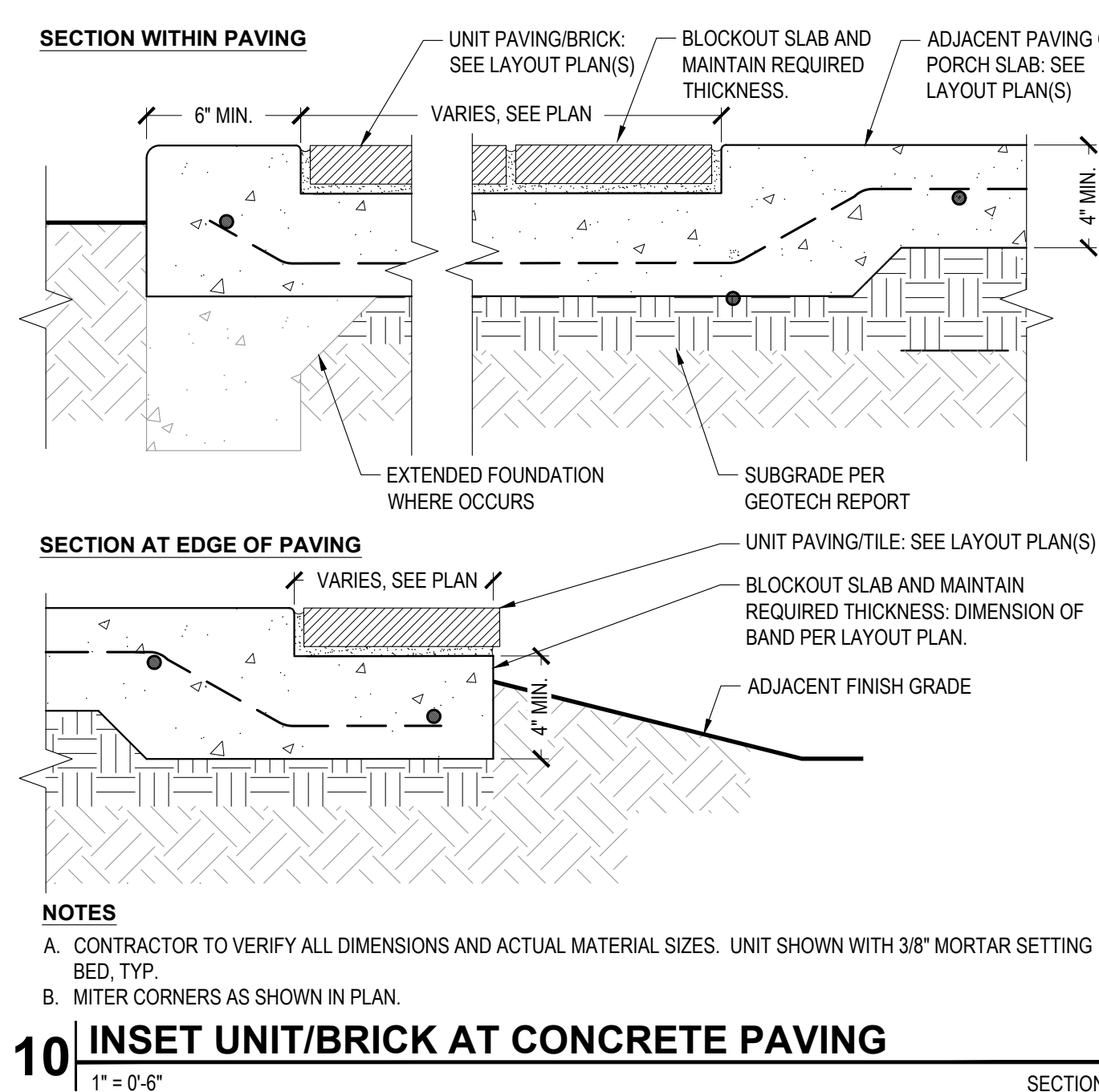
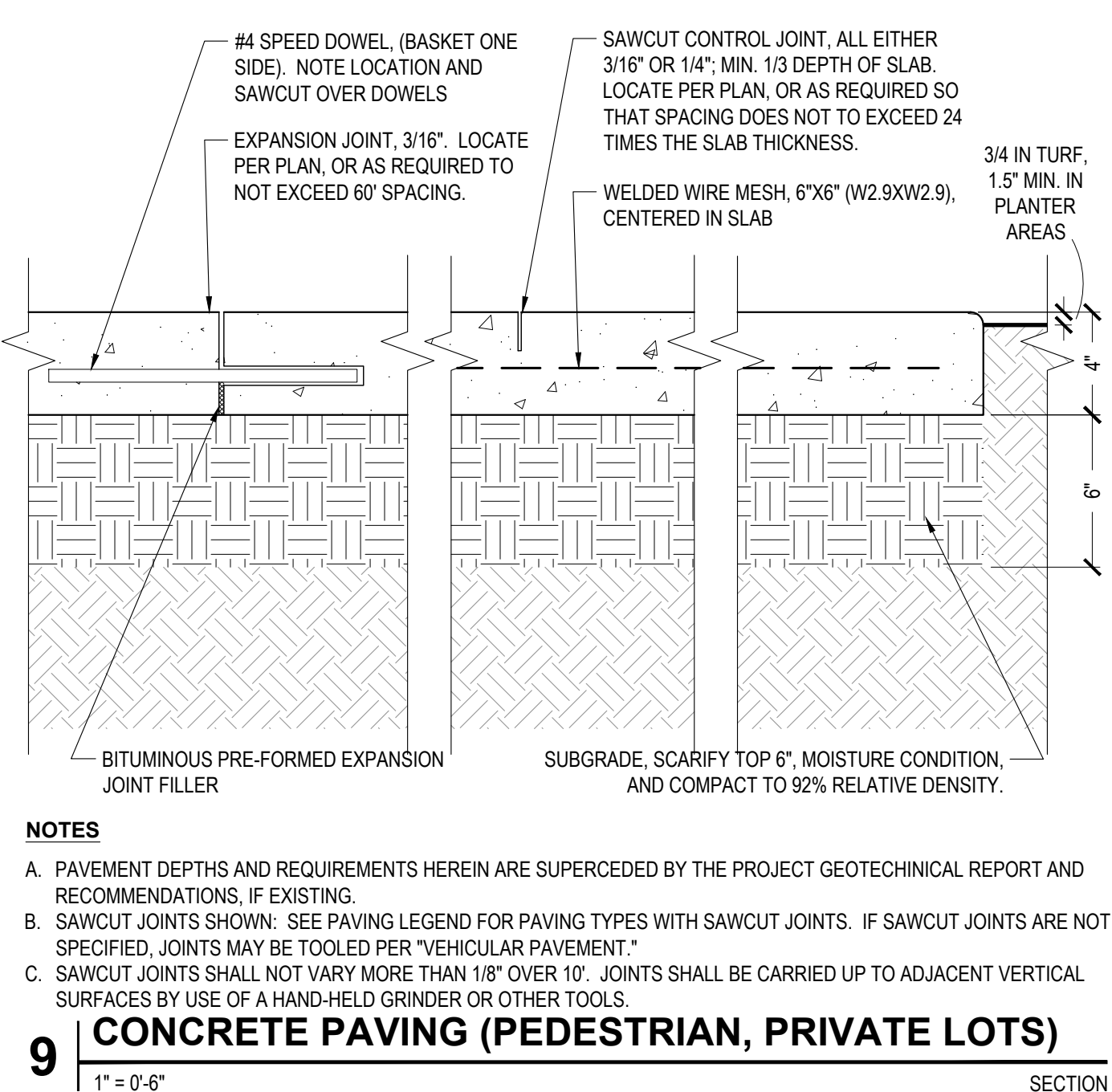
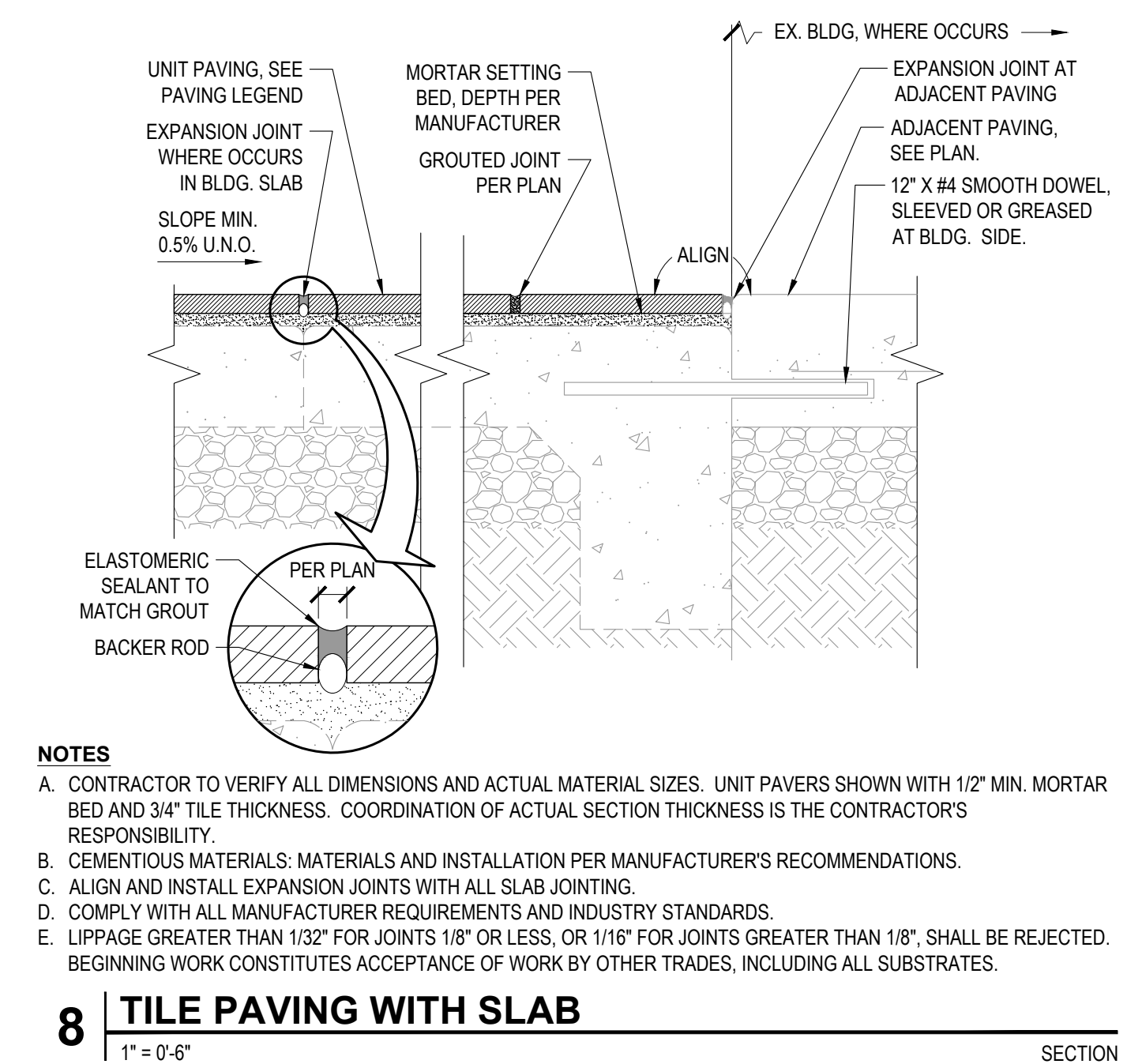
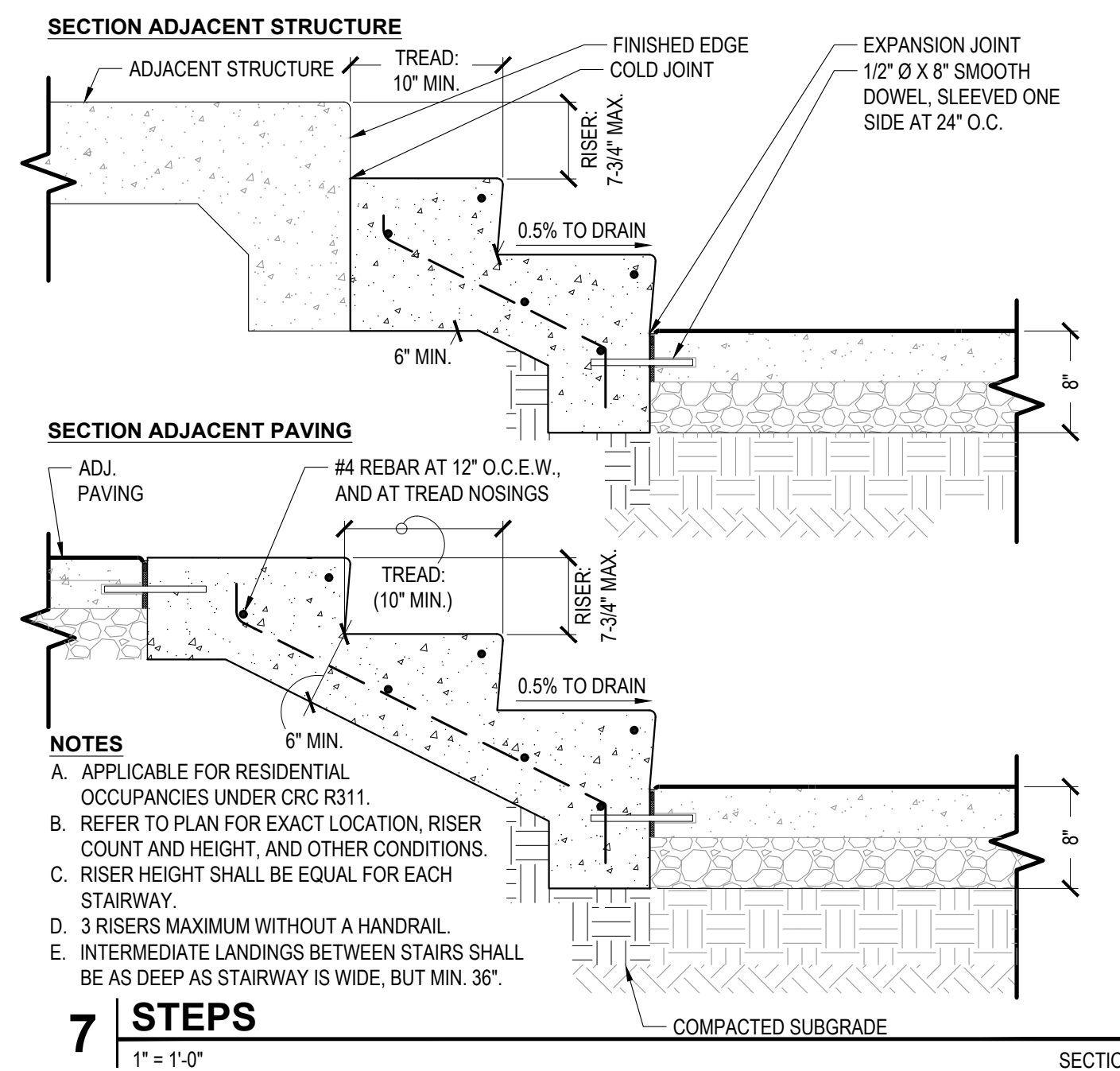
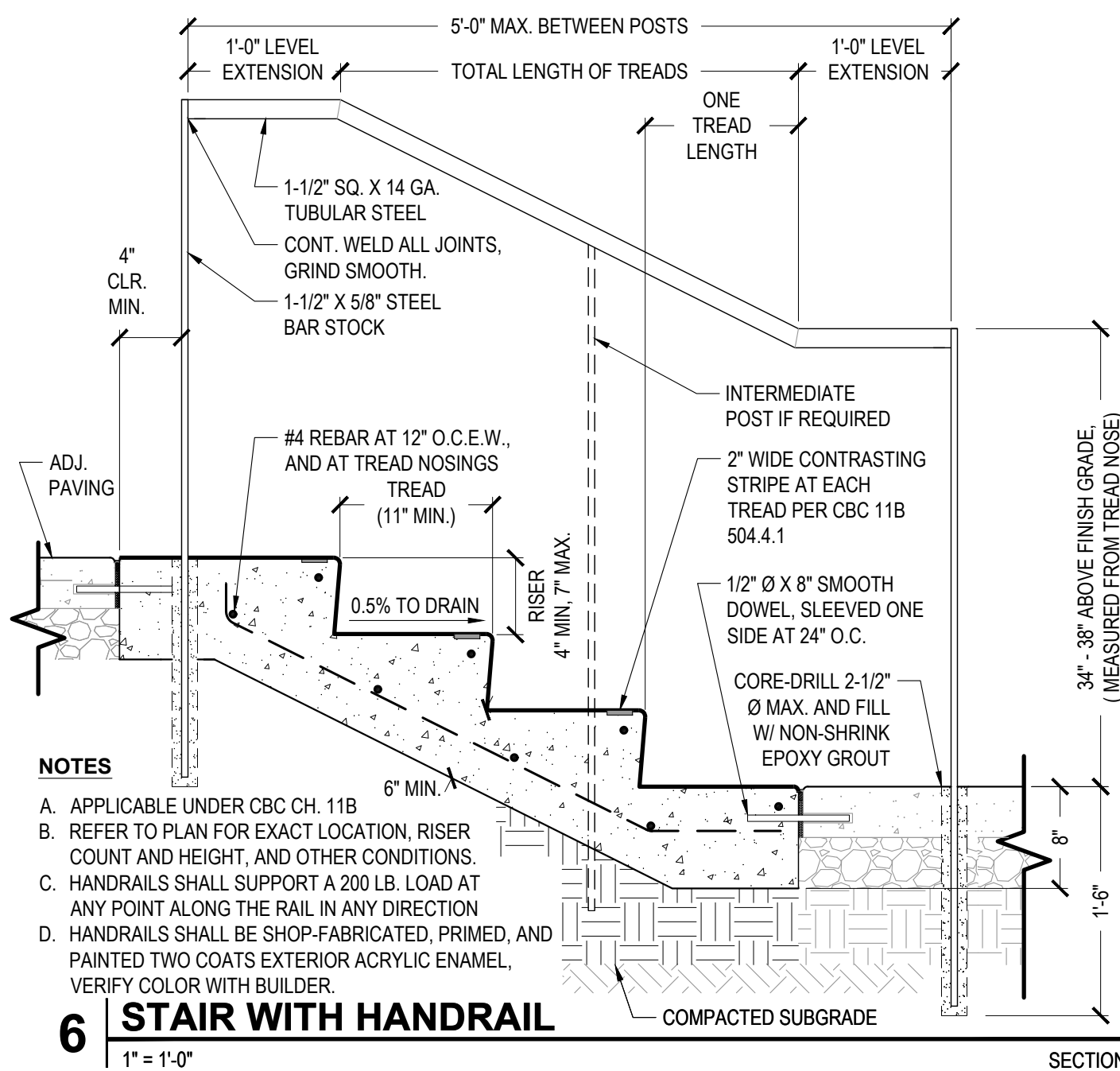
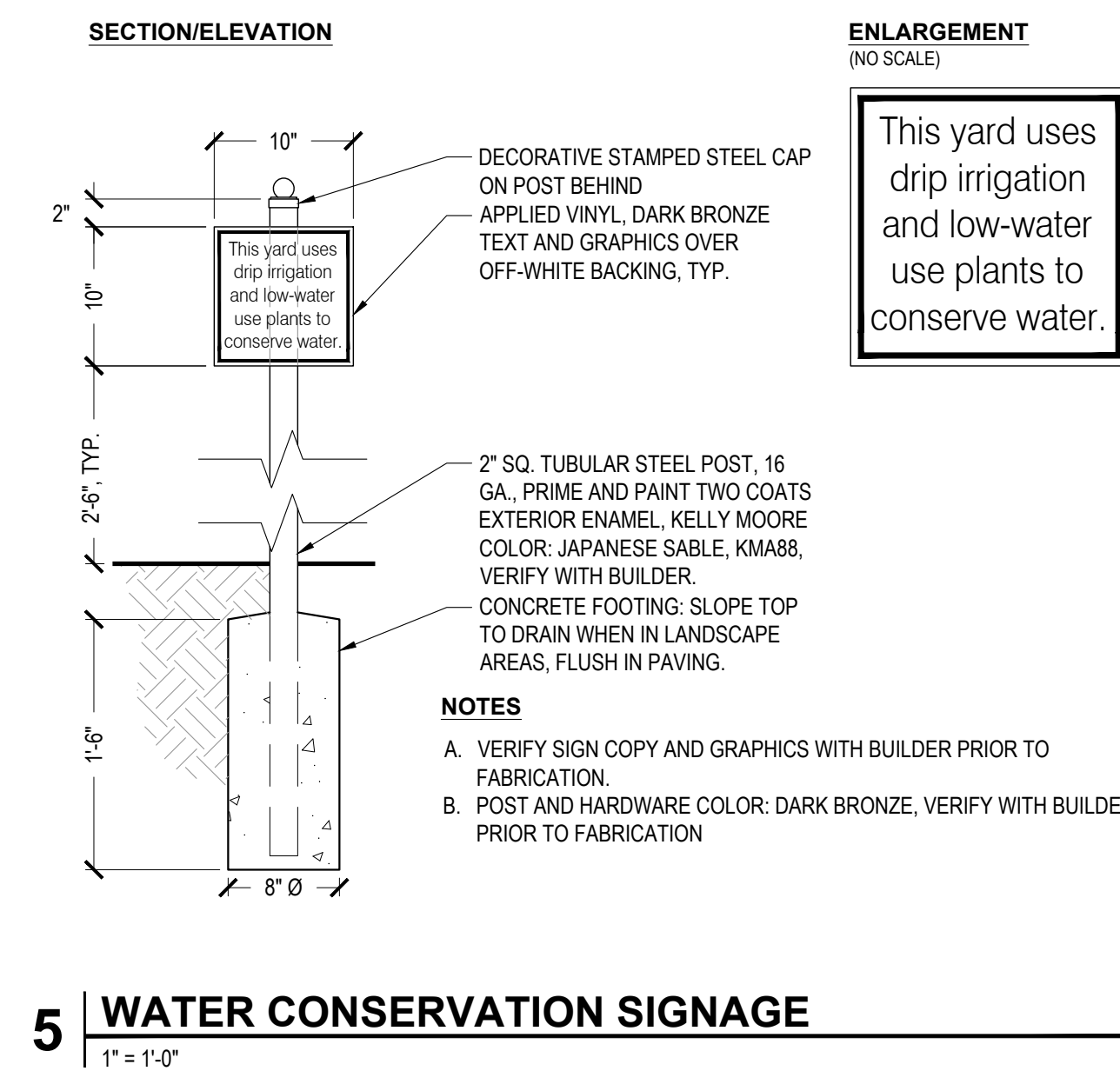
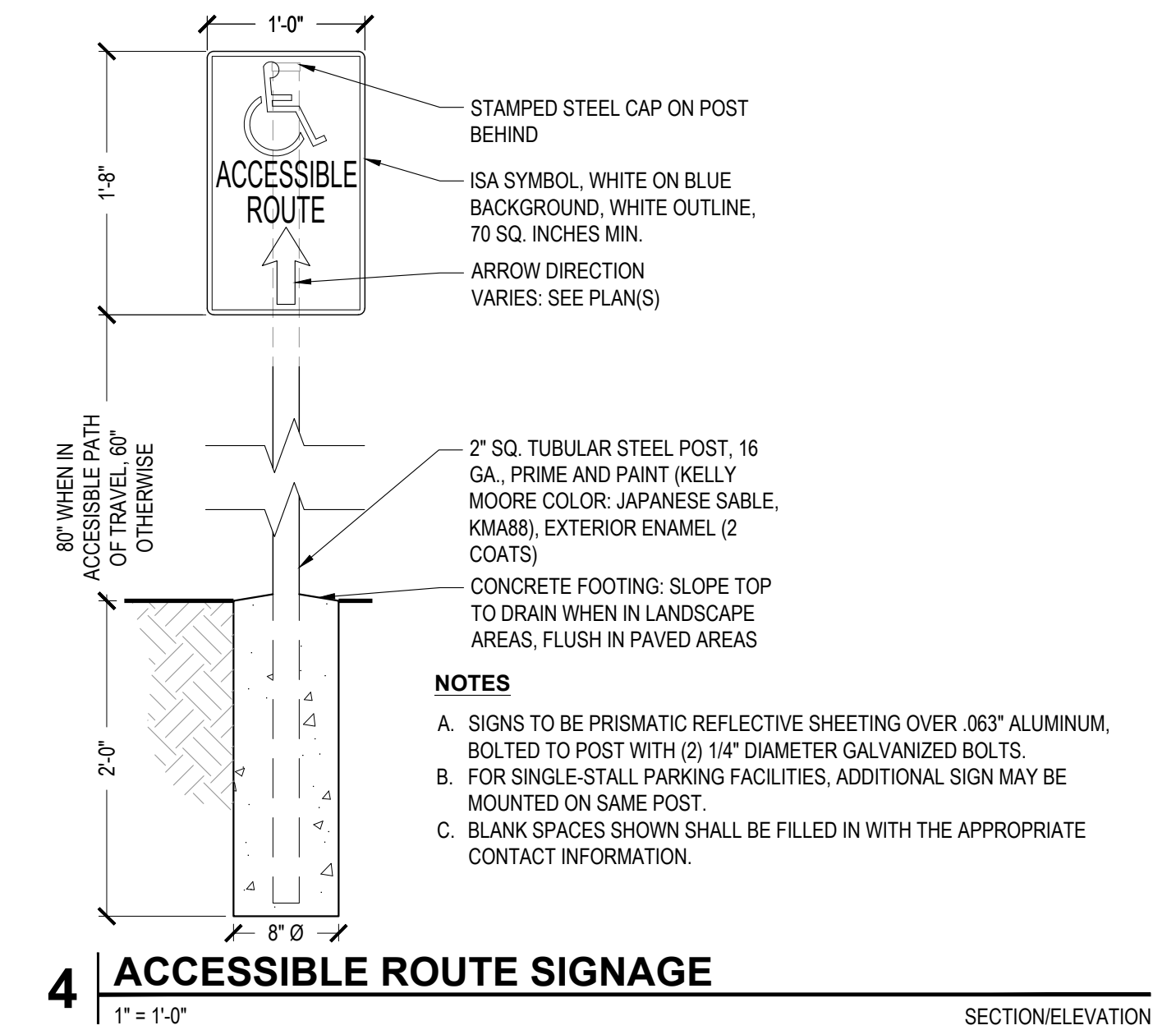
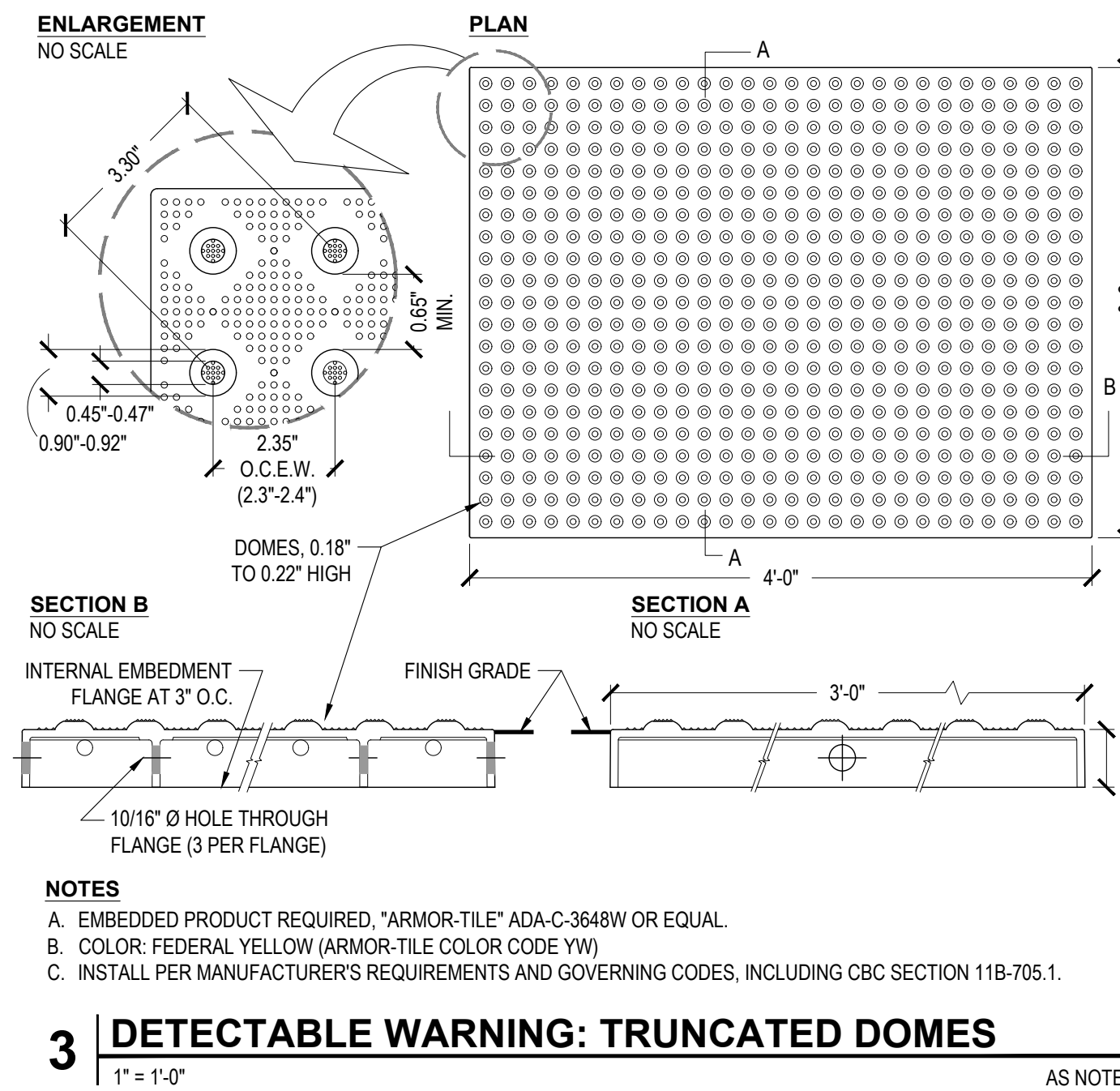
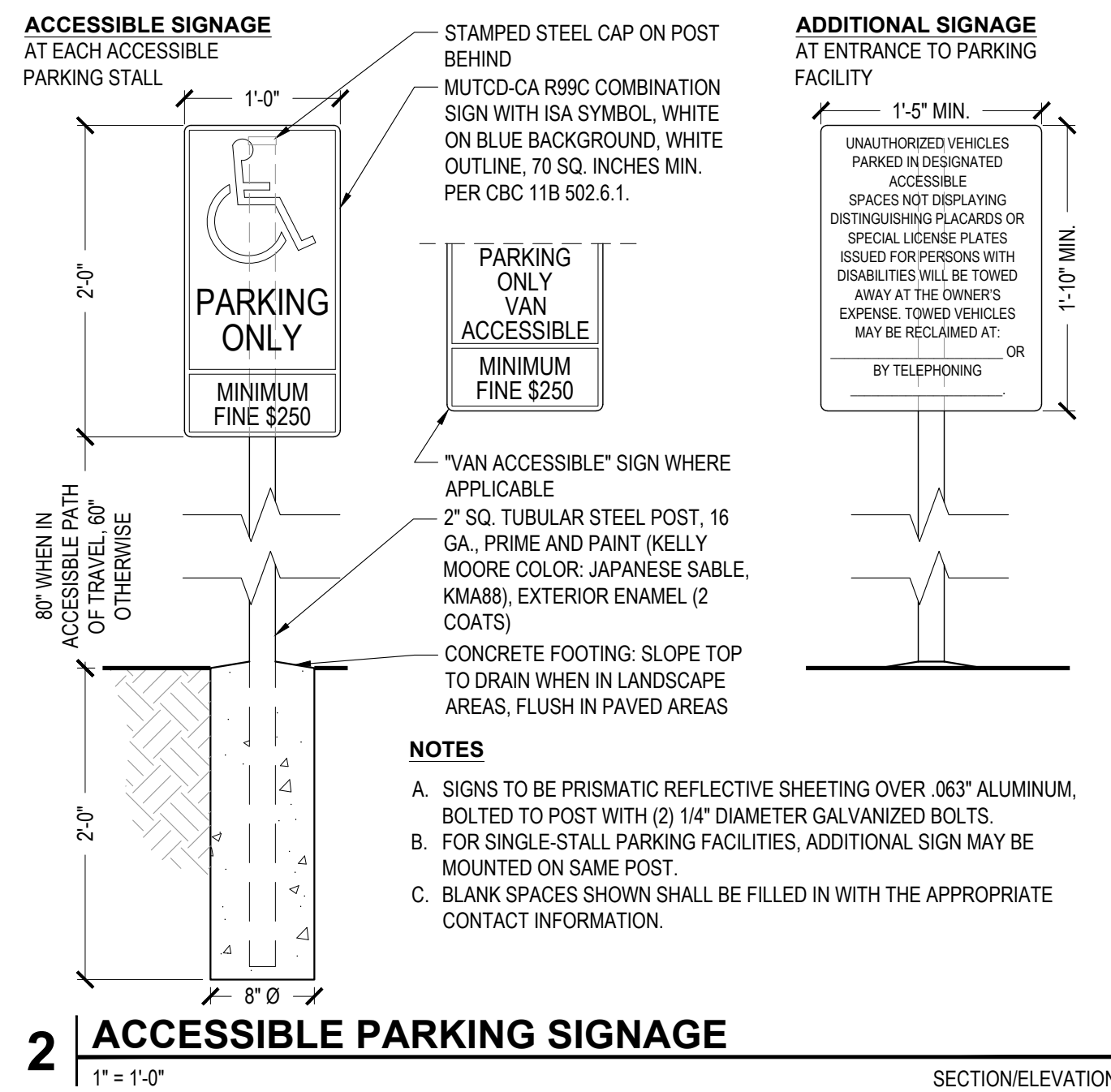
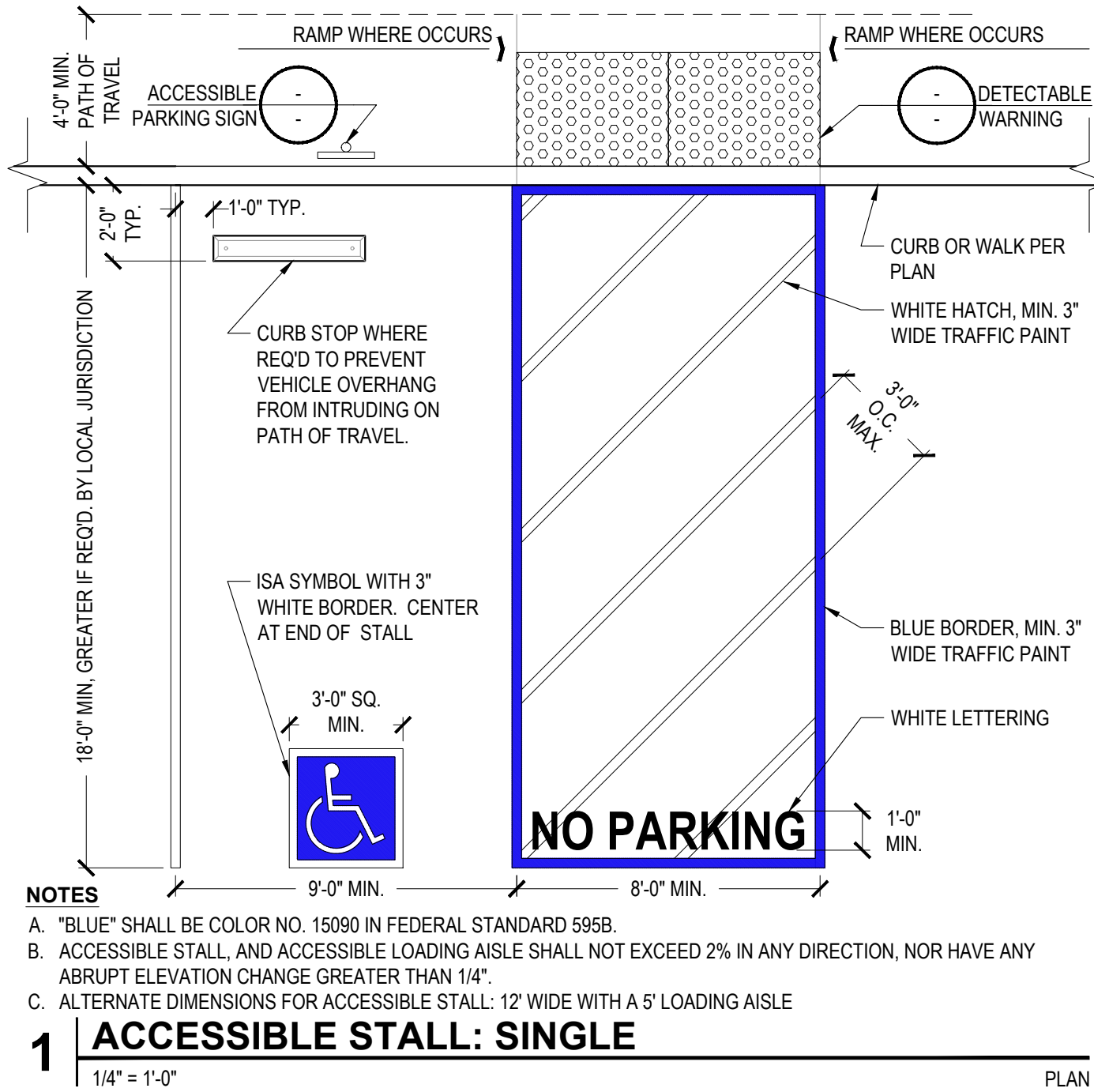


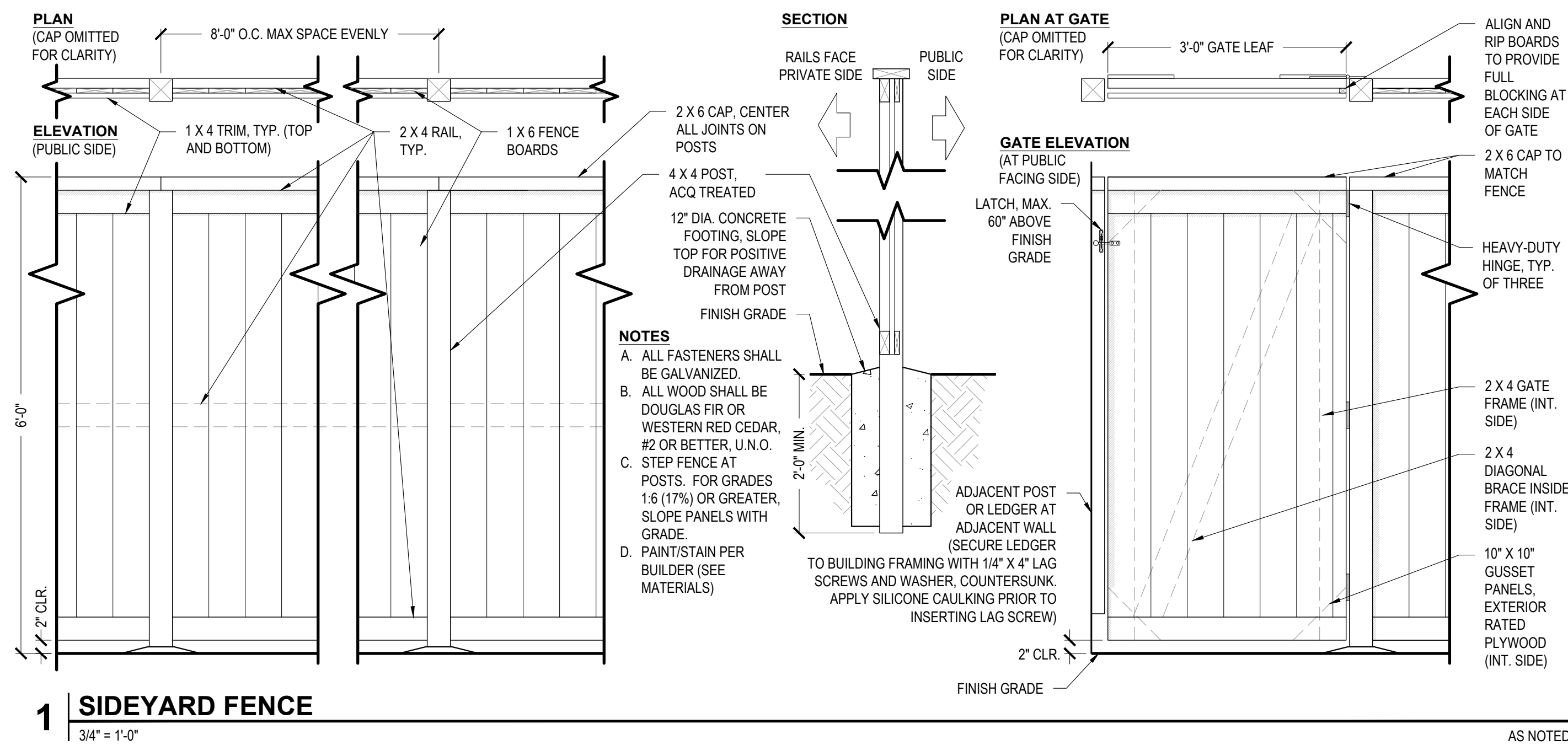
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L2.1

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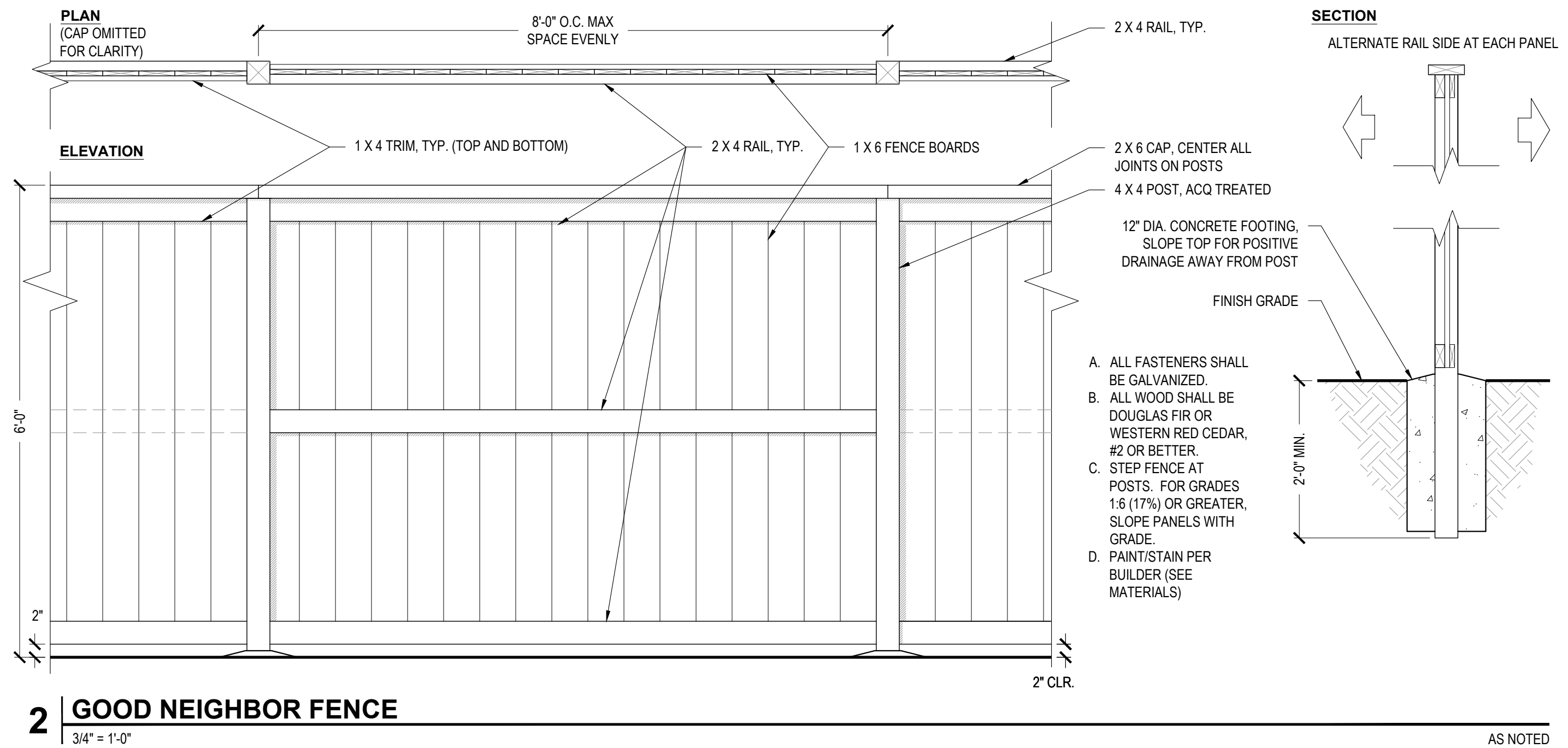




1 SIDELYARD FENCE

3/4" = 1'-0"

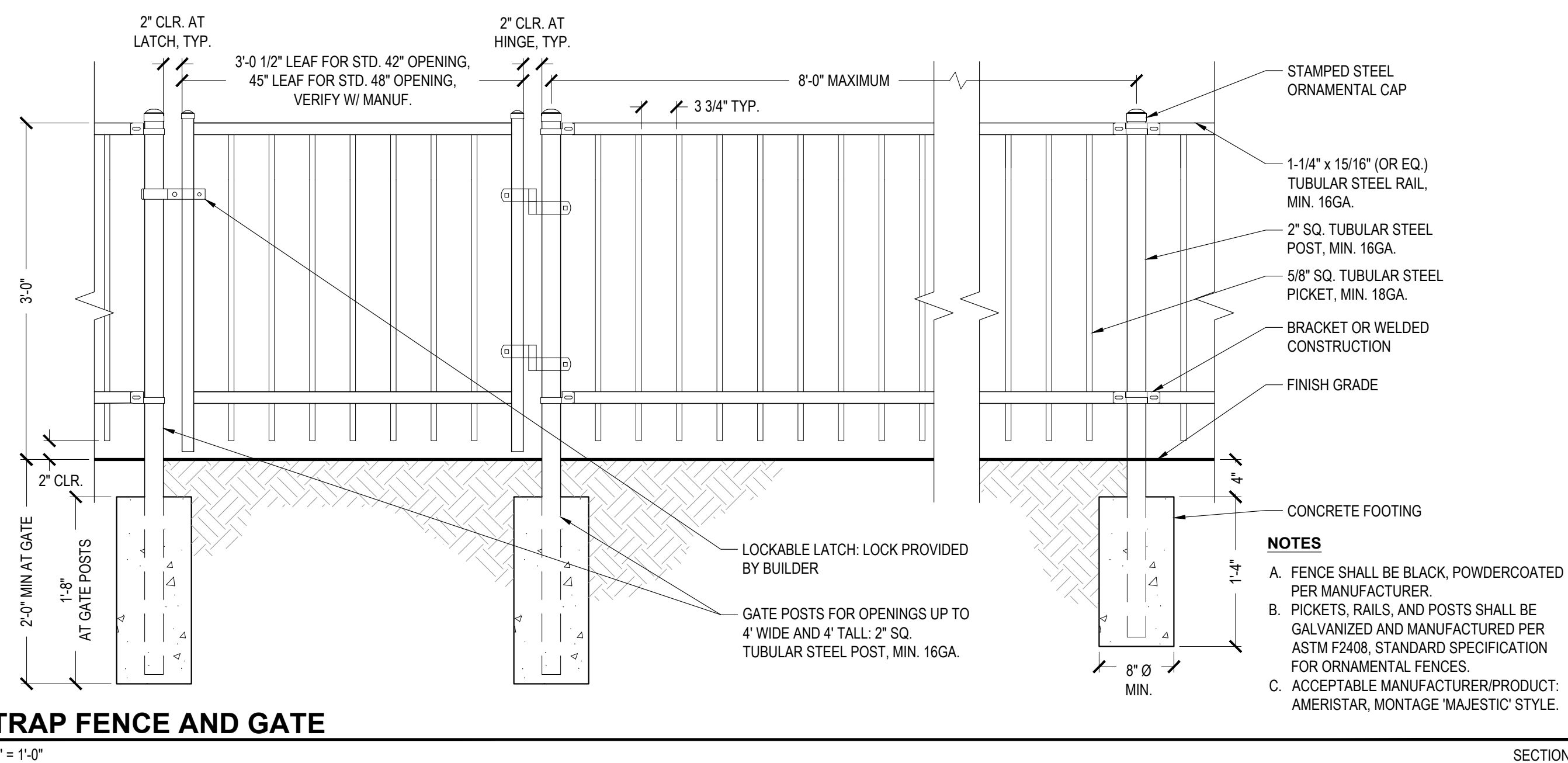
AS NOTED



2 GOOD NEIGHBOR FENCE

3/4" = 1'-0"

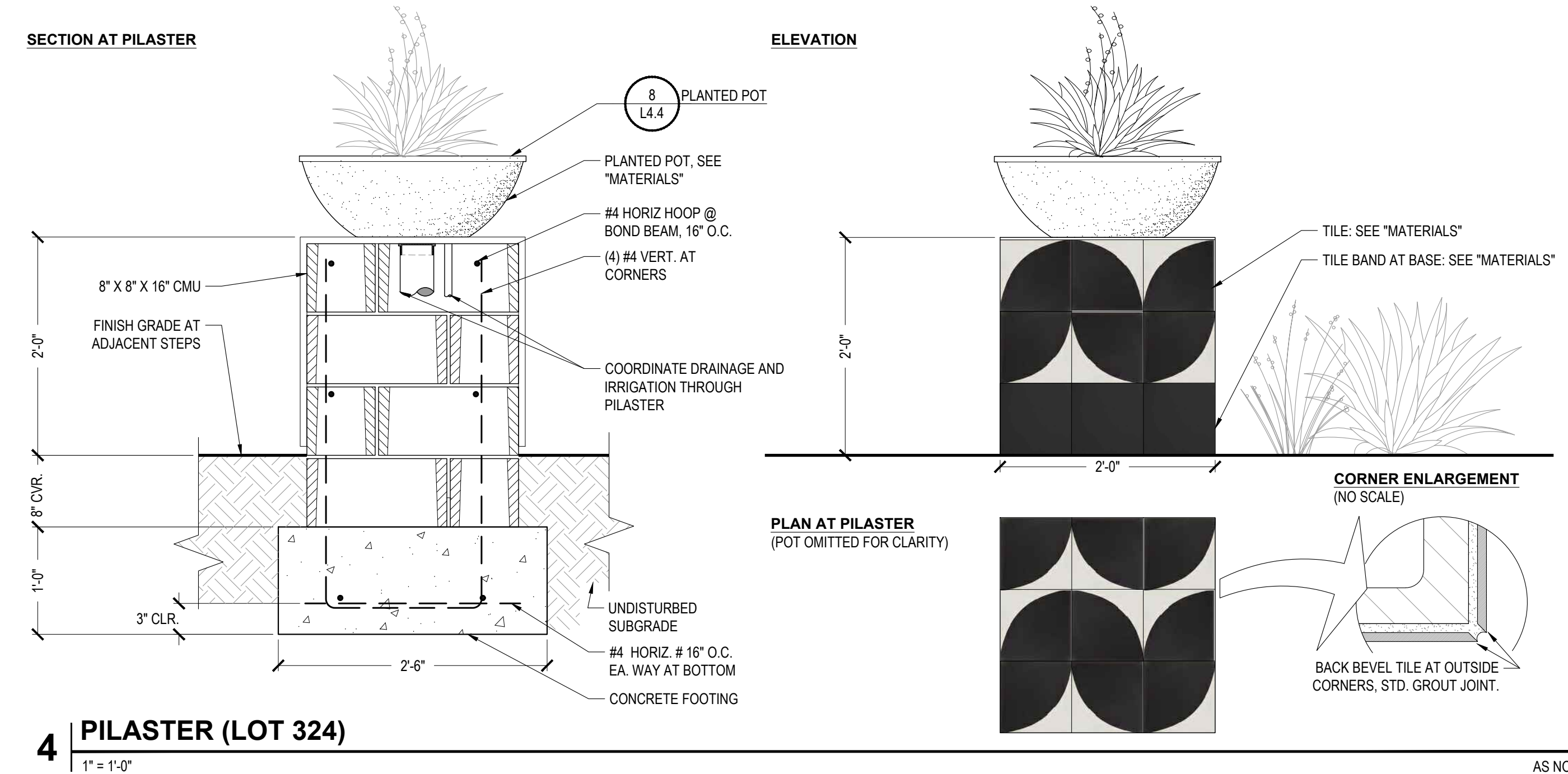
AS NOTED



3 TRAP FENCE AND GATE

1" = 1'-0"

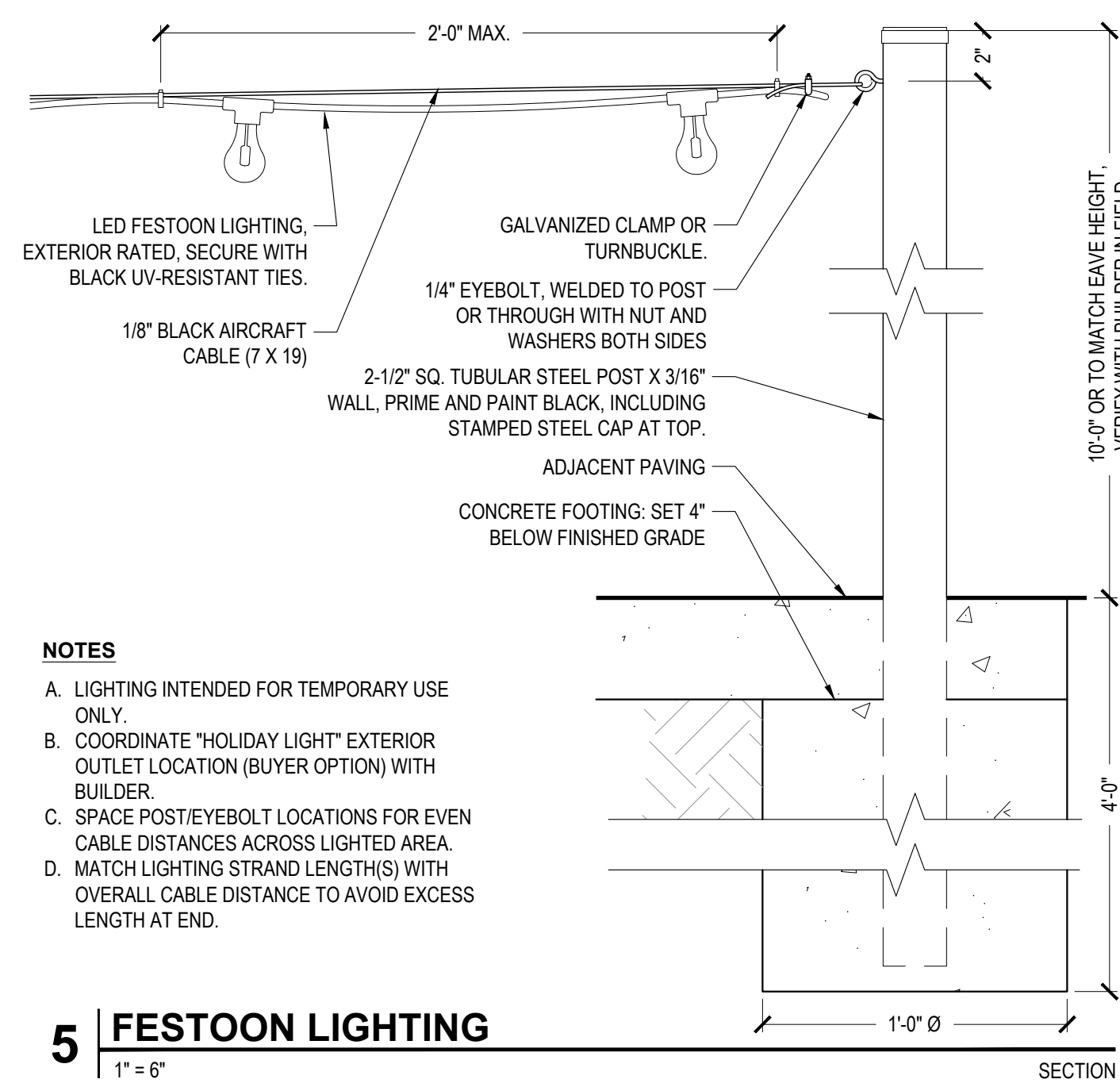
SECTION



4 PILASTER (LOT 324)

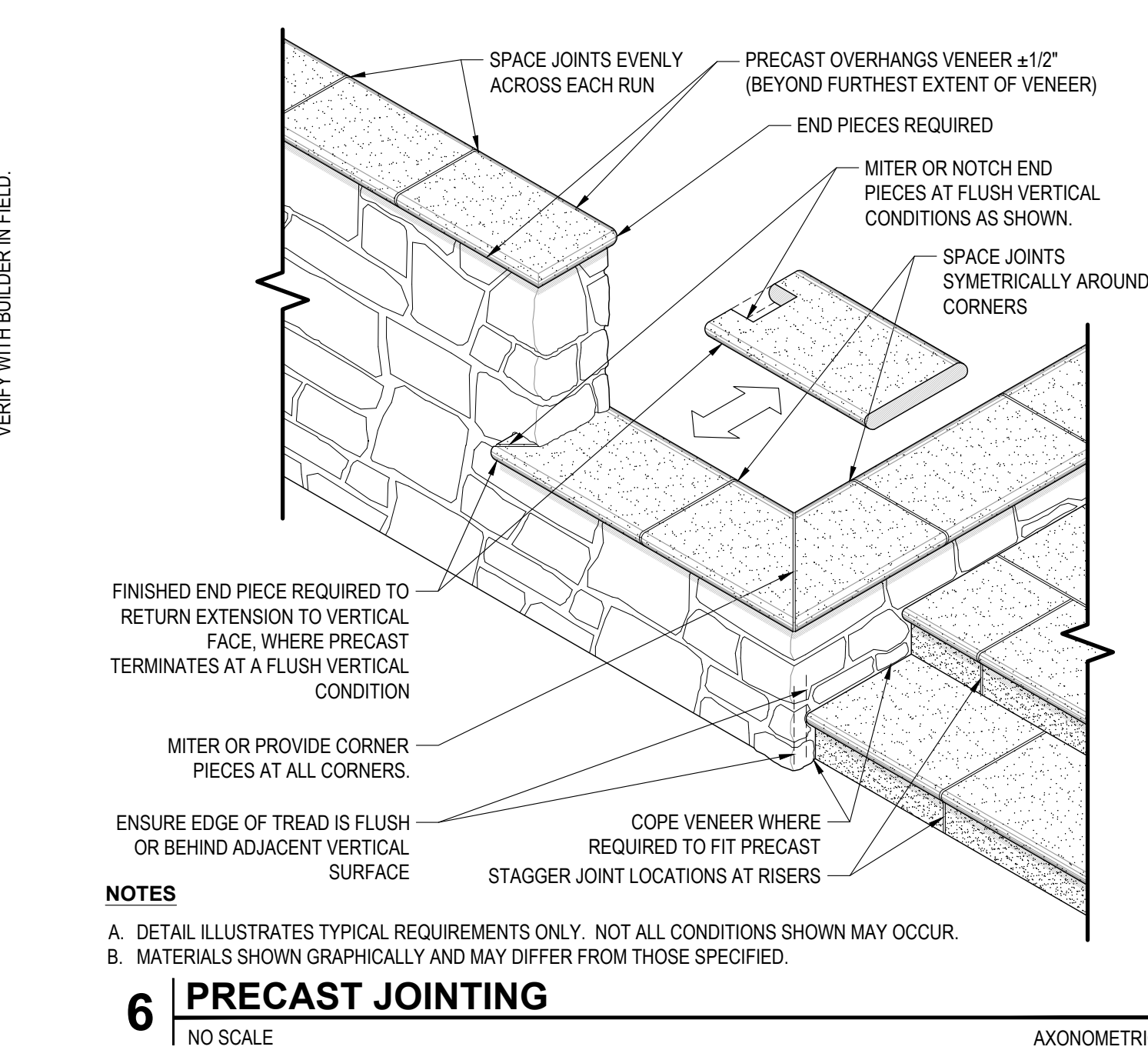
1" = 1'-0"

AS NOTED



5 FESTOON LIGHTING

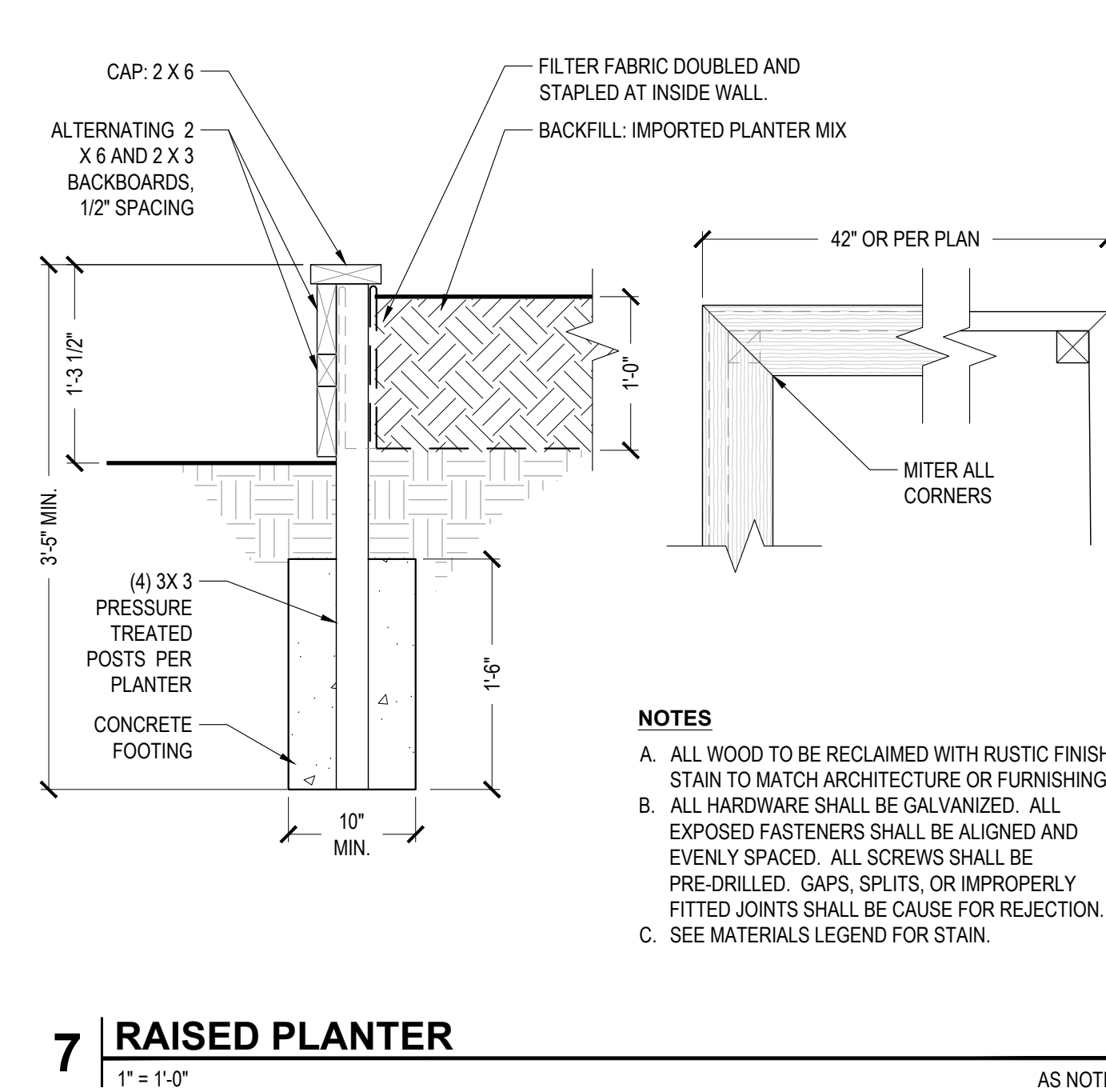
1" = 6"



6 PRECAST JOINTING

NO SCALE

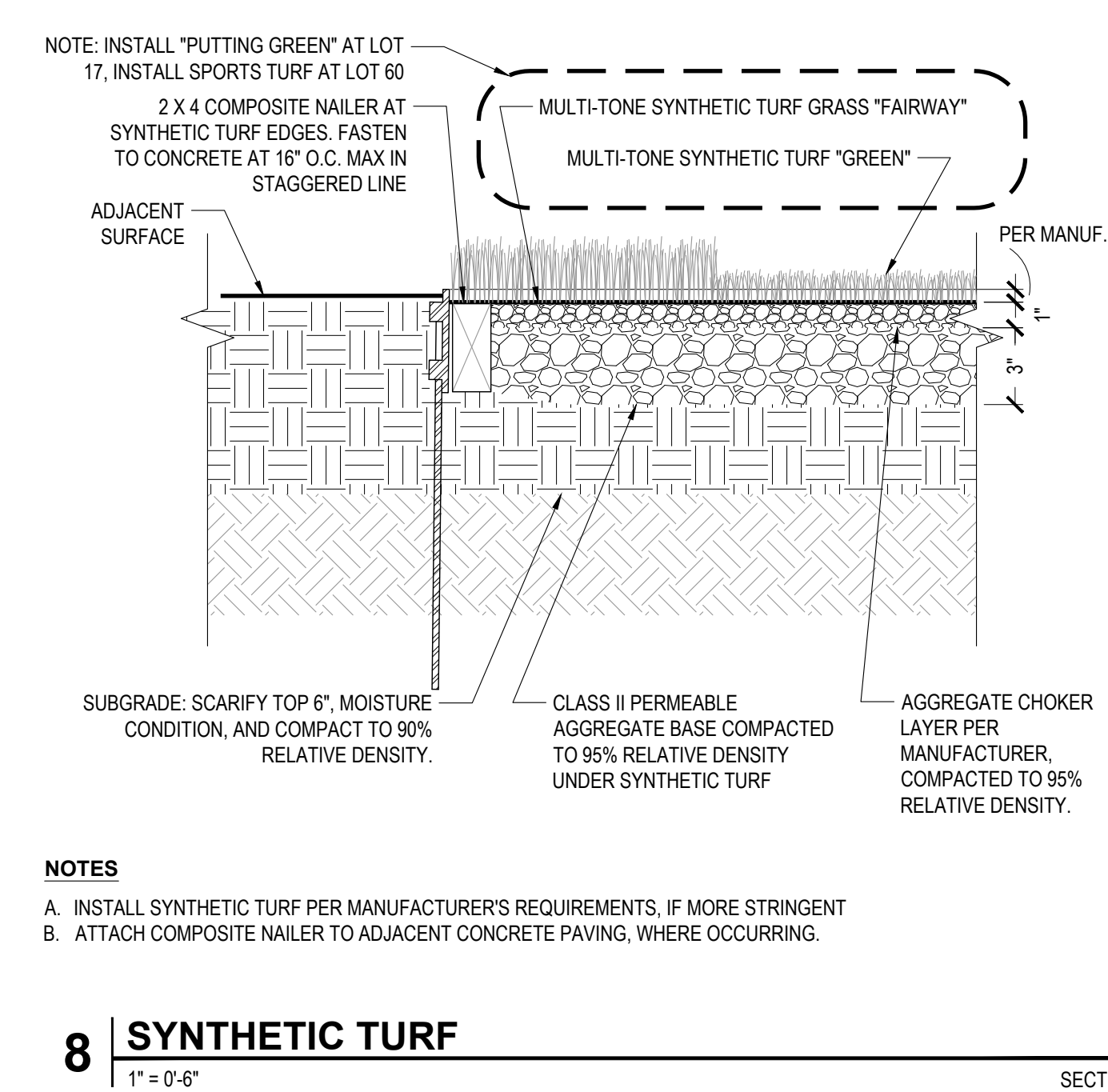
AXONOMETRIC



7 RAISED PLANTER

1" = 1'-0"

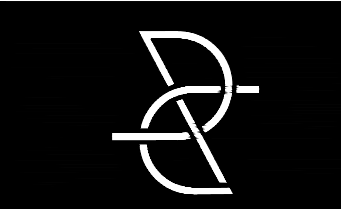
AS NOTED



8 SYNTHETIC TURF

1" = 0'-6"

SECTION



MODEL COMPLEX LANDSCAPE PLANS FOR

VIDA & DAWN

(N2 AND N4 AT THE COLLECTIVE)
MANTECA, CA

BY TRUMARK HOMES

KEYMAP:

CONSTRUCTION DETAILS

DRAWN BY:

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WDR

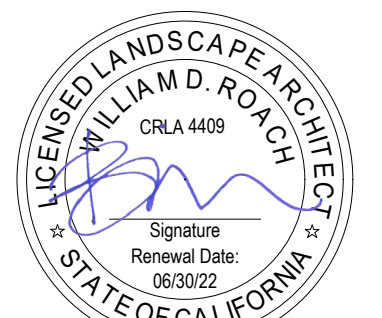
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L2.2

SUPER SENATOR

Fully ADA-compliant that meets California's policies

The Super Senator portable restroom from PolyPortables provides California-ADA compliance in a manageable sized unit. Boasting a 77" x 77" floor space, this unit meets the most stringent California requirements for wheelchair accessibility.

Features Include:

- 1/2" thick polyethylene extrusion floor provides maximum rigidity and low slip-resistance access
- 40-gallon waste tank
- Toilet seat and cover
- Three roll toilet paper holder with red and pink
- Heavy-duty aluminum handbars, like those found in many public restrooms
- Pneumatic door closer which is balanced by a heavy-duty cable spring for controlled, consistent and predictable access
- High molecular weight material with extra UV protection ensures that your units will continue to look new through years of work

SUPER TWIN

The industry's premier hand wash station

The flagship of the PolyPortables hand wash fleet, the Super Twin's durability, easy maintenance and money-saving features make it the industry's premier "one-wash" station. With double the hand washing capacity of most standard units on the market, the Super Twin is the perfect choice for large construction sites, festivals or other highly attended events.

Features Include:

- 40-gallon fresh water capacity
- 40-gallon grey water capacity
- Foot pump operation
- Designed to accommodate complete restroom
- Dual, molded-in siphons make for a simple discharging design
- Large cutouts make the powerful floor completely accessible, even for users in heavy work boots
- Two hand soap dispensers
- Lockable paper towel dispensers
- 1.8 gallon per minute foot pump

Specifications	U.S. Standard	Metric
Length	77"	1.95 m
Width	77"	1.95 m
Height	60"	2.94 m
Weight	325.96	147.25 kg

Specifications	U.S. Standard	Metric
Length	24"	0.66 m
Width	30.25"	0.77 m
Height	47.25"	1.21 m
Weight	120.96	54.83 kg

Optional Items:

- Soap dispensers add on to provide forearm pump, ADA-compliant hand washing

Special Needs Hand Washing

The SuperMate meets all ADA requirements for special needs hand washing.



SUPERMATE

- Here are some of the reasons why the SuperMate is the ideal answer for special needs hand washing:
- Simple operation, hand-operated water pump and soap dispenser
 - Fully ADA compliant
 - Mounts to any fresh water source
 - Works perfectly with the SuperTwin hand wash station - installs conveniently on one side.

Works perfectly with the SuperTwin hand wash station - installs conveniently on one side.

Simply push on the back of the SuperMate after the water has stopped with the 100% energy (no power) foot pedal.

SUPERMATE SPECIFICATIONS

Counter Area	32" x 18" (56 m x 46 cm)
Weight	75 lbs (34 kg)
Pump	100% energy (no power) foot pedal
Pump Lever	Rotationally-molded polyethylene
Soap Dispenser	Brushed stainless steel
Material	Rotationally-molded polyethylene

RESTROOMS

HAND WASH STATIONS

RESTROOM ACCESSORIES

DISPENSERS

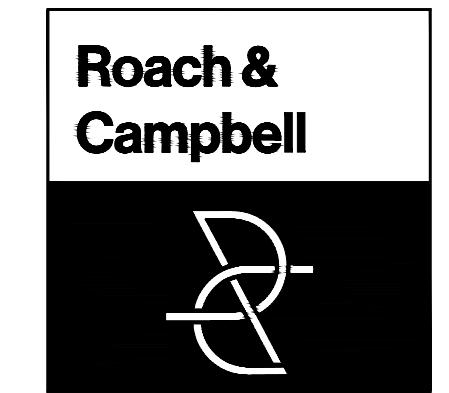
CLEANERS

TRUCKS

NOTE: PRODUCTS SHOWN REPRESENT PORTABLE FACILITIES COMPLIANT WITH CBC AND ADA REQUIREMENTS. EQUAL BUILDER RESERVES RIGHT TO USE EQUAL PRODUCTS AVAILABLE THROUGH DIFFERENT VENDORS.

1 PORTABLE ACCESSIBLE FACILITIES

AS NOTED



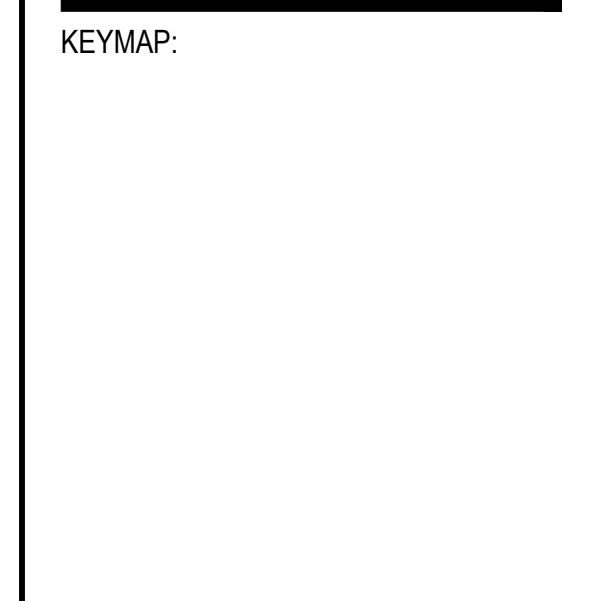
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MODEL COMPLEX LANDSCAPE PLANS FOR

VIDA & DAWN

(N2 AND N4 AT THE COLLECTIVE)
MANTECA, CA

BY TRUMARK HOMES



CONSTRUCTION DETAILS

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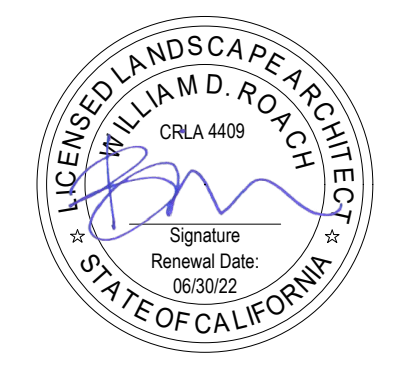
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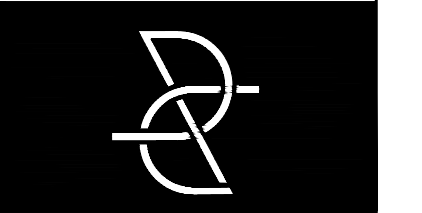
L2.4

CLIENT REVIEW/FIRST SUBMITTAL - NOT FOR CONSTRUCTION

IRRIGATION KEYNOTES

- 1 LOCATE POINT-OF-CONNECTION IN FIELD. EQUIPMENT SHOWN IN HOUSE FOR PLAN CLARITY ONLY.
- 2 STUB MAINLINE FOR FUTURE EXPANSION.
- 3 LOCATE CONTROLLER AT EXTERIOR OF GARAGE WALL AS DIRECTED BY BUILDER. COORDINATE WITH BUILDER FOR ALL REQUIRED PENETRATIONS AND 120V POWER. NOTE: "HOMEOWNER" CONTROLLER SHALL BE INSTALLED OUTSIDE GARAGE WHILE MODELS ARE OPEN, BUT RELOCATED INSIDE AT BUILDER'S OPTION AT CLOSE OF MODELS. "HOA-MAINTAINED" CONTROLLER TO REMAIN ACCESSIBLE FROM FRONT YARD (ASSUMES HOA-MAINTAINED FRONT YARDS; BUILDER TO VERIFY).
- 4 COORDINATE WITH OTHER TRADES FOR ALL SLEEVING, ETC. IRRIGATION CONTROL WIRING SHALL BE SLEEVED (SEPARATELY FROM IRRIGATION PIPING) WHEN UNDER PAVING. INSTALL SLEEVES/PROVISIONS FOR FUTURE EXPANSION OF IRRIGATION SYSTEM TO REAR YARD.
- 5 LOCATE ET-SENSOR IN FULL SUN AND PER MANUFACTURER'S REQUIREMENTS. VERIFY COMMUNICATION AND CORRECT OPERATION WITH CONTROLLER.
- 6 WHERE TWO OR MORE VALVES ARE SHOWN WITH THE SAME DESCRIPTION (EG. DRIP REAR), CONTRACTOR SHALL BALANCE FLOW BETWEEN VALVES, AND, SEPARATE ZONES TO ACCOUNT FOR MICRO-CLIMATE CONDITIONS (EG. SHADED BY HOUSE) AS MUCH AS POSSIBLE.

Roach & Campbell



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**MODEL
COMPLEX
LANDSCAPE
PLANS FOR**

**VIDA &
DAWN**

(N2 AND N4 AT THE
COLLECTIVE)
MANTECA, CA

**BY TRUMARK
HOMES**

KEYMAP:

VIDA IRRIGATION PLAN

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CHECKED BY:

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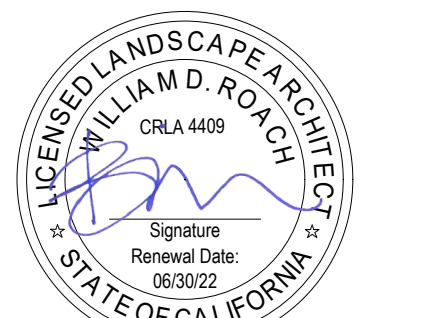
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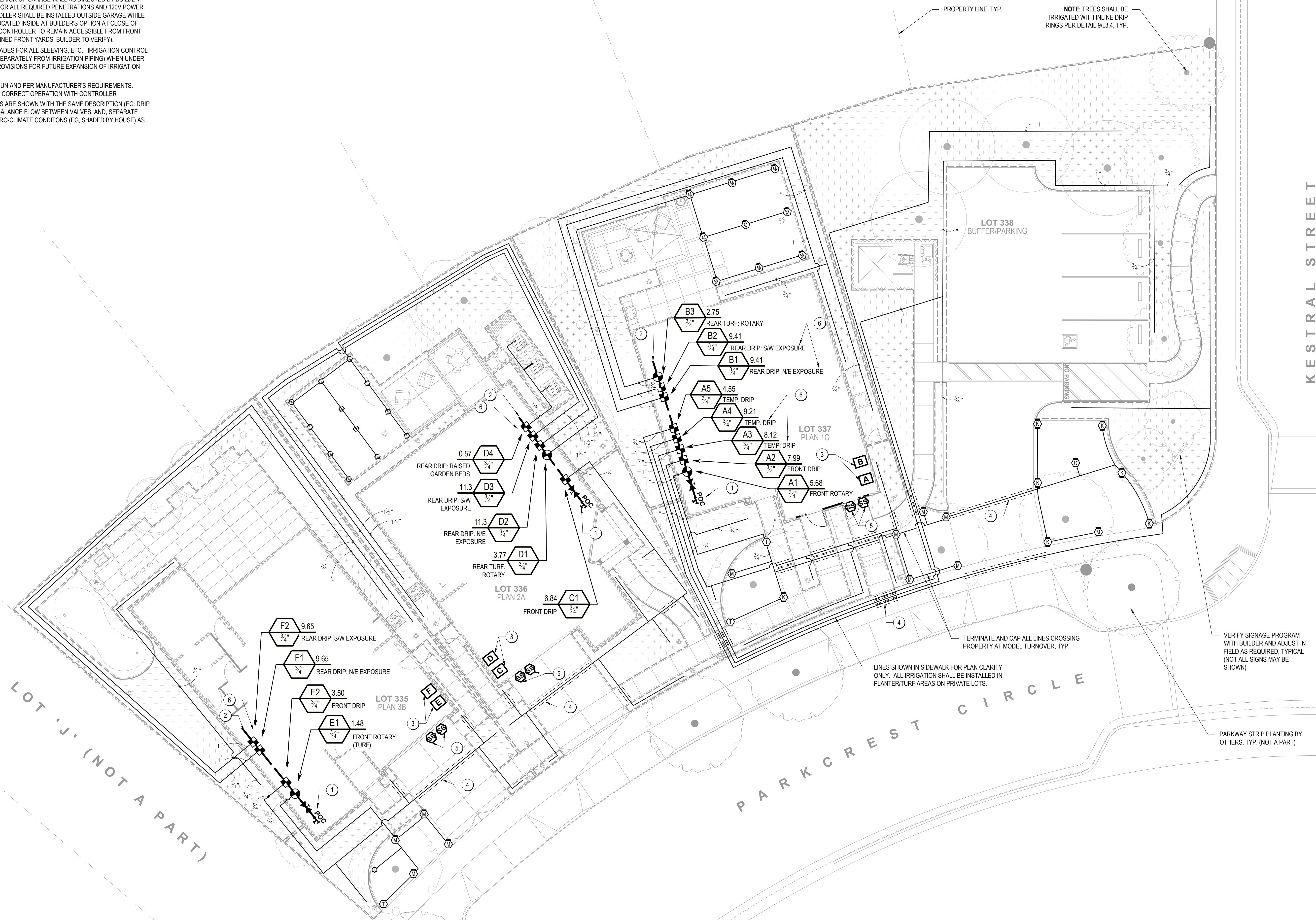


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L3.1

DRAWINGS IN SET:

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**SEE SHEET L3.2 FOR NOTES,
L3.3 FOR LEGEND & CALCS,
AND L3.4 FOR DETAILS**

WATER USE CALCULATIONS

Water Efficient Landscape Worksheet DAWN at the Collection Lot 324							Project: 21040A Date: 9/14/2021	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use	
Regular Landscape Areas								
Shrubs and groundcover (low and moderate water use)	0.35	DripEmtr	0.81	0.43	1,894	818	25,235	
Micro drip- pots and joints (low and moderate water use)	0.35	DripLine	0.81	0.43	0	-	-	
Turf (decorative/non-recreational)	0.8	MultiStrm	0.75	1.07	307	327	10,097	
					Totals	2,201	1,146	
Special Landscape Areas								
Turf (recreational/temporary)				1.00	305	305	9,871	
					1.00	-	-	
					1.00	-	-	
					Totals	305	305	
Nearest Data Location: Stockton								
Reference Eto: 49.1							Estimated Total Water Use (ETWU)	45,203
Reference ETAF: 0.55							Maximum Allowed Water Allowance (MAWA)	46,136

ETAF Calculations/Regular Landscape		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.	
Total ETAF x Area	1,146		
Total Area (sf)	2,201		
Average ETAF	0.52		
ETAF Calculations/All Landscape			
Total ETAF x Area	1,451	¹ ETWU= Eto x 0.62 x ETAF x Area	
Total Area (sf)	2,506	² MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]	
Average ETAF	0.58	³ ETWU must be less than or equal to MAWA	

Water Efficient Landscape Worksheet VIDA at the Collection Lot 335							Project: 21040A Date: 9/14/2021	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use	
Regular Landscape Areas								
Shrubs and groundcover (low and moderate water use)	0.35	DripEmtr	0.81	0.43	1,792	774	23,876	
Micro drip- pots and joints (low and moderate water use)	0.35	DripLine	0.81	0.43	0	-	-	
Turf (decorative/non-recreational)	0.8	MultiStrm	0.75	1.07	179	191	5,887	
					Totals	1,971	965	
Special Landscape Areas								
Turf (recreational/temporary)				1.00	-	-	-	
					1.00	-	-	
					1.00	-	-	
					Totals	-	-	
Nearest Data Location: Stockton								
Reference Eto: 49.1							Estimated Total Water Use (ETWU)	29,763
Reference ETAF: 0.55							Maximum Allowed Water Allowance (MAWA)	33,001

ETAF Calculations/Regular Landscape		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.	
Total ETAF x Area	965		
Total Area (sf)	1,971		
Average ETAF	0.49		
ETAF Calculations/All Landscape			
Total ETAF x Area	965	¹ ETWU= Eto x 0.62 x ETAF x Area	
Total Area (sf)	1,971	² MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]	
Average ETAF	0.49	³ ETWU must be less than or equal to MAWA	

Water Efficient Landscape Worksheet VIDA at the Collection Lot 338 (parking/buffer)							Project: 21040A Date: 9/14/2021	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use	
Regular Landscape Areas								
Shrubs and groundcover (low and moderate water use)	0.35	DripEmtr	0.81	0.43	3,801	1,642	50,643	
Micro drip- pots and joints (low and moderate water use)	0.35	DripLine	0.81	0.43	0	-	-	
Turf (decorative/non-recreational)	0.8	MultiStrm	0.75	1.07	576	614	18,945	
					Totals	4,377	2,257	
Special Landscape Areas								
Turf (recreational/temporary)				1.00	-	-	-	
					1.00	-	-	
					1.00	-	-	
					Totals	-	-	
Nearest Data Location: Stockton								
Reference Eto: 49.1							Estimated Total Water Use (ETWU)	69,588
Reference ETAF: 0.55							Maximum Allowed Water Allowance (MAWA)	73,285

ETAF Calculations/Regular Landscape		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.	
Total ETAF x Area	2,257		
Total Area (sf)	4,377		
Average ETAF	0.52		
ETAF Calculations/All Landscape			
Total ETAF x Area	2,257	¹ ETWU= Eto x 0.62 x ETAF x Area	
Total Area (sf)	4,377	² MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]	
Average ETAF	0.52	³ ETWU must be less than or equal to MAWA	

Water Efficient Landscape Worksheet DAWN at the Collection Lot 325							Project: 21040A Date: 9/14/2021	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use	
Regular Landscape Areas								
Shrubs and groundcover (low and moderate water use)	0.35	DripEmtr	0.81	0.43	2,119	916	28,233	
Micro drip- pots and joints (low and moderate water use)	0.35	DripLine	0.81	0.43	0	-	-	
Turf (decorative/non-recreational)	0.8	MultiStrm	0.75	1.07	378	401	12,367	
					Totals	2,495	1,317	
Special Landscape Areas								
Turf (recreational/temporary)				1.00	375	375	12,137	
					1.00	-	-	
					1.00	-	-	
					Totals	375	375	
Nearest Data Location: Stockton								
Reference Eto: 49.1							Estimated Total Water Use (ETWU)	62,736
Reference ETAF: 0.55							Maximum Allowed Water Allowance (MAWA)	63,190

ETAF Calculations/Regular Landscape		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.	
Total ETAF x Area	1,317		
Total Area (sf)	2,495		
Average ETAF	0.53		
ETAF Calculations/All Landscape			
Total ETAF x Area	1,692	¹ ETWU= Eto x 0.62 x ETAF x Area	
Total Area (sf)	2,870	² MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]	
Average ETAF	0.59	³ ETWU must be less than or equal to MAWA	

Water Efficient Landscape Worksheet VIDA at the Collection Lot 336							Project: 21040A Date: 9/14/2021	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use	
Regular Landscape Areas								
Shrubs and groundcover (low and moderate water use)	0.35	DripEmtr	0.81	0.43	2,117	915	28,206	
Micro drip- pots and joints (low and moderate water use)	0.35	DripLine	0.81	0.43	0	-	-	
Turf (decorative/non-recreational)	0.8	MultiStrm	0.75	1.07	0	-	-	
					Totals	2,117	915	
Special Landscape Areas								
Turf (recreational/temporary)				1.00	334	334	10,810	
					1.00	-	-	
					1.00	-	-	
					Totals	334	334	
Nearest Data Location: Stockton								
Reference Eto: 49.1							Estimated Total Water Use (ETWU)	39,016
Reference ETAF: 0.55							Maximum Allowed Water Allowance (MAWA)	45,813

ETAF Calculations/Regular Landscape		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.	
Total ETAF x Area	915		
Total Area (sf)	2,117		
Average ETAF	0.43		
ETAF Calculations/All Landscape			
Total ETAF x Area	1,249	¹ ETWU= Eto x 0.62 x ETAF x Area	
Total Area (sf)	2,451	² MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]	
Average ETAF	0.51	³ ETWU must be less than or equal to MAWA	

Water Efficient Landscape Worksheet DAWN at the Collection Lot 326							Project: 21040A Date: 9/14/2021	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use	
Regular Landscape Areas								
Shrubs and groundcover (low and moderate water use)	0.35	DripEmtr	0.81	0.43	3,098	1,339	41,277	
Micro drip- pots and joints (low and moderate water use)	0.35	DripLine	0.81	0.43	0	-	-	
Turf (decorative/non-recreational)	0.8	MultiStrm	0.75	1.07	401	428	13,189	
					Totals	3,499	1,766	
Special Landscape Areas								
Turf (recreational/temporary)				1.00	372	372	12,039	
					1.00	-	-	
					1.00	-	-	
					Totals	372	372	
Nearest Data Location: Stockton								
Reference Eto: 49.1							Estimated Total Water Use (ETWU)	66,505
Reference ETAF: 0.55							Maximum Allowed Water Allowance (MAWA)	69,909

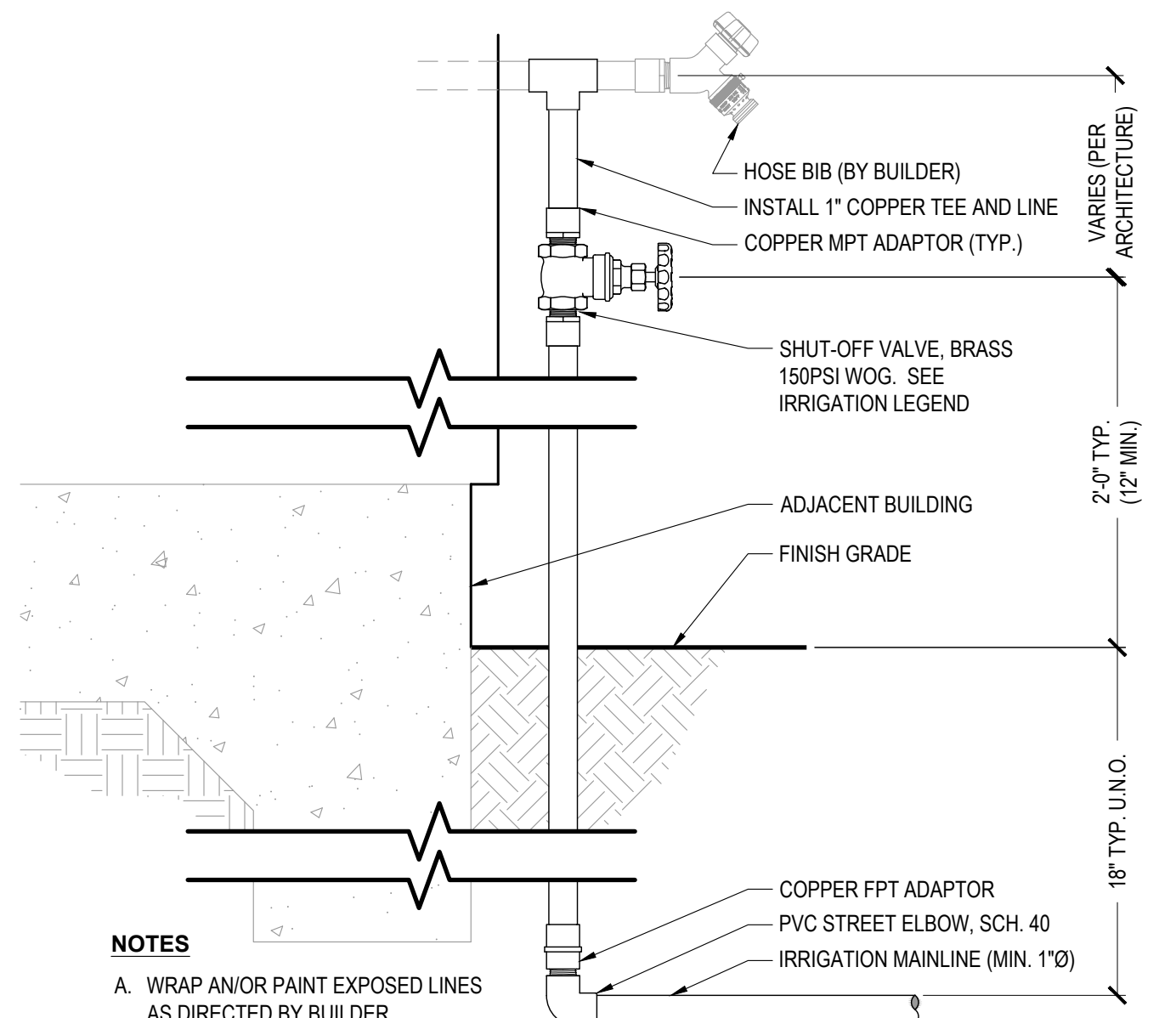
ETAF Calculations/Regular Landscape		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.	
Total ETAF x Area	1,766		
Total Area (sf)	3,499		
Average ETAF	0.50		
ETAF Calculations/All Landscape			
Total ETAF x Area	2,138	¹ ETWU= Eto x 0.62 x ETAF x Area	
Total Area (sf)	3,871	² MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]	
Average ETAF	0.55	³ ETWU must be less than or equal to MAWA	

Water Efficient Landscape Worksheet VIDA at the Collection Lot 337							Project: 21040A Date: 9/14/2021	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use	
Regular Landscape Areas								
Shrubs and groundcover (low and moderate water use)	0.35	DripEmtr	0.81	0.43	2,184	944	29,099	
Micro drip- pots and joints (low and moderate water use)	0.35	DripLine	0.81	0.43	0	-	-	
Turf (decorative/non-recreational)	0.8	MultiStrm	0.75	1.07	212	226	6,973	
					Totals	2,396	1,170	
Special Landscape Areas								
Turf (recreational/temporary)				1.00	429	429	13,884	
					1.00	-	-	
					1.00	-	-	
					Totals	429	429	
Nearest Data Location: Stockton								
Reference Eto: 49.1							Estimated Total Water Use (ETWU)	49,956
Reference ETAF: 0.55							Maximum Allowed Water Allowance (MAWA)	63,176

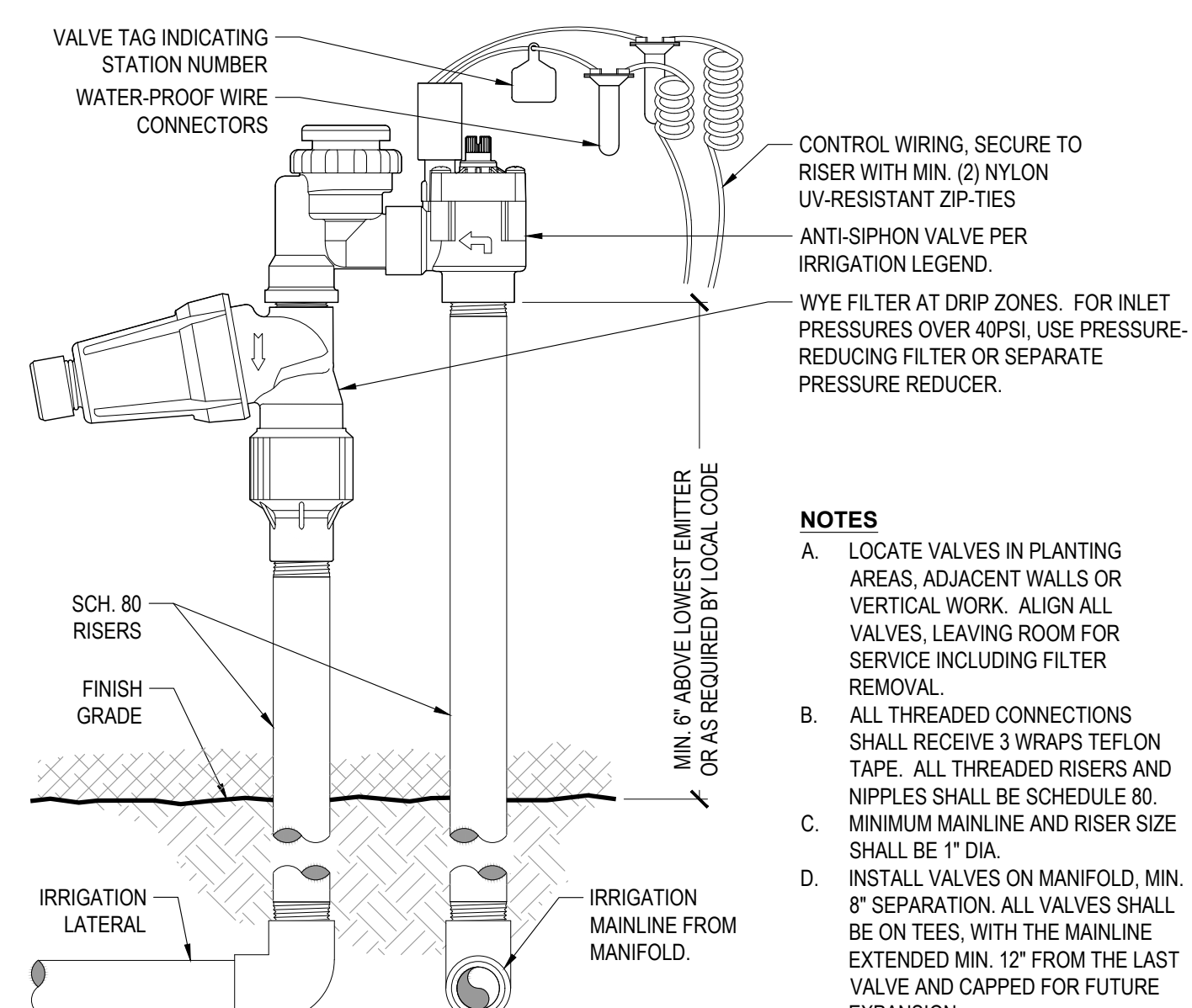
ETAF Calculations/Regular Landscape		Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.	
Total ETAF x Area	1,170		
Total Area (sf)	2,396		
Average ETAF	0.49		
ETAF Calculations/All Landscape			
Total ETAF x Area	1,599	¹ ETWU= Eto x 0.62 x ETAF x Area	
Total Area (sf)	2,825	² MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]	
Average ETAF	0.57	³ ETWU must be less than or equal to MAWA	

IRRIGATION LEGEND

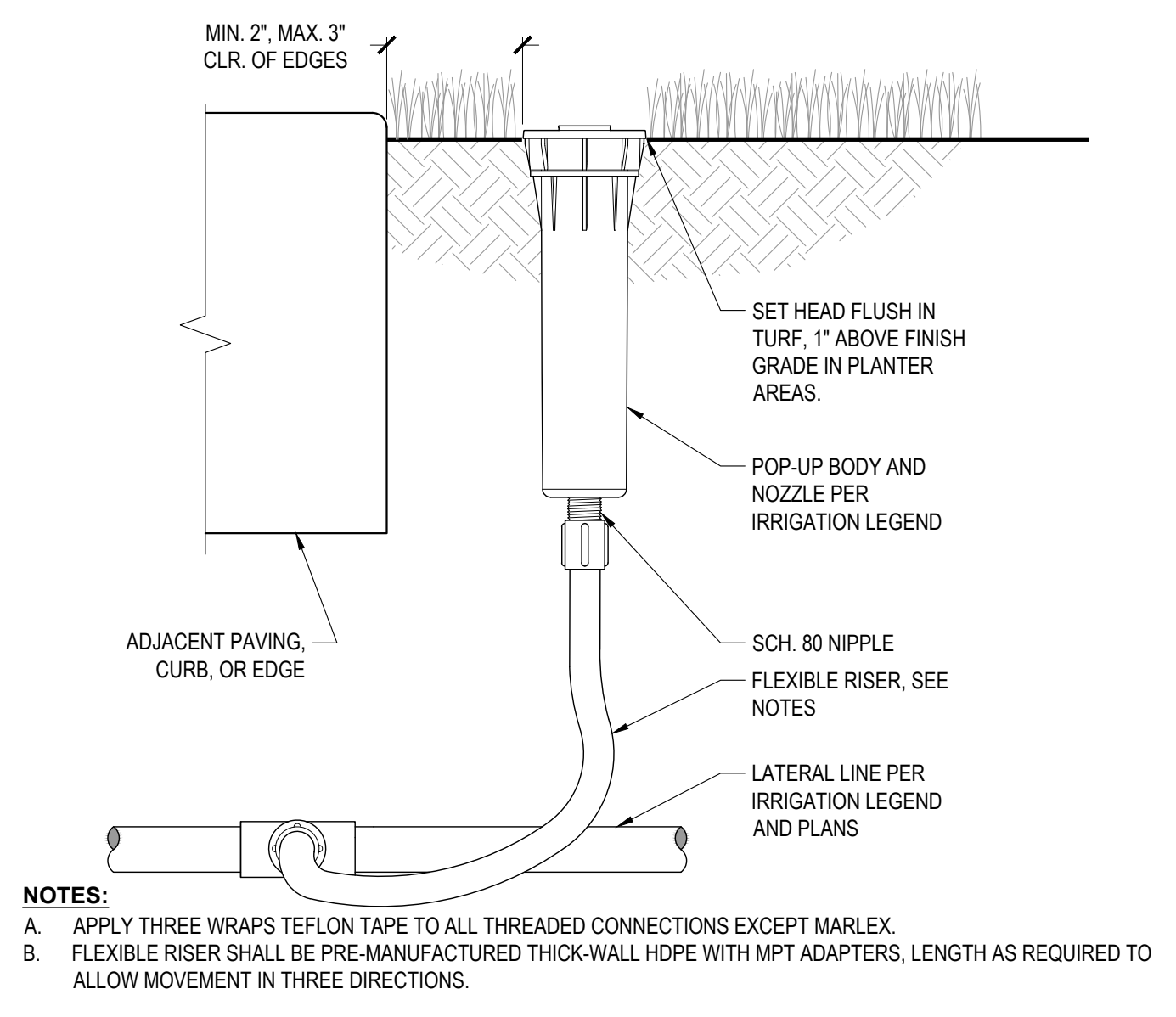
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	HUNTER MP CORNER PRO-04-PRS30-CV TURF ROTATOR, 4" (10.16CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30PSI, MP ROTATOR NOZZLE. T=TURQUOISE ADJ ARC 45-105 ON PRS30 BODY.	3	30
	HUNTER MP1000 PRO-04-PRS30-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	49	30
	HUNTER MP2000 PRO-04-PRS30-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	7	30
	HUNTER MP800SR PRO-04-PRS30-CV TURF ROTATOR, 4.0" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. ADJ=ORANGE AND GRAY (ARC 90-210), 360=LIME GREEN AND GRAY (ARC 360)	51	30
	HUNTER MP800SR PRO-12-PRS40-CV SHRUB ROTATOR, 12.0" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. OR = ORANGE ADJ ARC 90 TO 210.	2	30
	REMOTE CONTROL VALVE (DRIP/ANTI-SIPHON) HUNTER ACZ-075-25 DRIP CONTROL KIT FEATURING A 3/4" PGV-ASV VALVE, WITH 3/4" HY075 FILTER SYSTEM, AND 25PSI PRESSURE REGULATED. FLOW RANGE: 0.5 GPM TO 15 GPM. WITH 150 MESH STAINLESS STEEL SCREEN.	25	
	AREA TO RECEIVE DRIP EMITTERS PRESSURE COMPENSATING DRIP EMITTERS HUNTER HE-B POINT SOURCE DRIP EMITTER WITH SELF PIERCING BARB, COLOR CODED EMITTERS FOR FLOW RATES OF 0.5, 1.0, 2.0, 4.0, AND 6.0 GPH. CAN BE INSERTED INTO 1/2" AND 3/4" TUBING AND HAVE PRESSURE COMPENSATING FROM 15-50 PSI. OPTIONAL DIFFUSER CAP (HE) AVAILABLE. Emitter Notes: 10HE-B emitters (2 assigned to each 1 GAL. plant) 20HE-B emitters (2 assigned to each 5 GAL. plant) 40HE-B emitters (2 assigned to each 15 GAL. plant) 40HE-B emitters (2 assigned to each 15 GAL. plant)	15,377	S.F.
	AREA TO RECEIVE DRIPLINE HUNTER MLD-05-06 0.5 GPH BROWN MINI LANDSCAPE DRIPLINE. EMITTERS AT 6" O.C. DRIPLINE LATERALS SPACED AT 6" APART. USE WITH STANDARD 1/4" BARB FITTINGS.	120.7	L.F.
	REMOTE CONTROL VALVE (ANTI-SIPHON) HUNTER PGV-ASV, 3/4" AND 1" PLASTIC ELECTRIC REMOTE CONTROL VALVE, WITH REMOVABLE ANTI-SIPHON CAP, AND FLOW CONTROL, FOR RESIDENTIAL USE. INLET/OUTLET: FEMALE NPT THREADS.	9	
	SHUT-OFF VALVE CLASS 125 BRONZE GATE VALVE WITH WHEEL HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3". INSTALL IN 10" ROUND PLASTIC VALVE BOX. NIBCO T-113 OR EQUAL.	6	
	IRRIGATION CONTROLLER, 4ST (FRONT: HOA MAINT.) HUNTER XC-400, 4 STATION CONTROLLER, RESIDENTIAL USE. PLASTIC CABINET, OUTDOOR, WITH 3 INDEPENDENT PROGRAMS. 120 VAC.	1	
	IRRIGATION CONTROLLER, 4ST (FRONT: HOA MAINT.) HUNTER XC-400, 4 STATION CONTROLLER, RESIDENTIAL USE. PLASTIC CABINET, OUTDOOR, WITH 3 INDEPENDENT PROGRAMS. 120 VAC.	1	
	IRRIGATION CONTROLLER, 4ST (FRONT: HOA MAINT.) HUNTER XC-400, 4 STATION CONTROLLER, RESIDENTIAL USE. PLASTIC CABINET, OUTDOOR, WITH 3 INDEPENDENT PROGRAMS. 120 VAC.	1	
	IRRIGATION CONTROLLER, 4ST (FRONT: HOA MAINT.) HUNTER XC-400, 4 STATION CONTROLLER, RESIDENTIAL USE. PLASTIC CABINET, OUTDOOR, WITH 3 INDEPENDENT PROGRAMS. 120 VAC.	1	
	IRRIGATION CONTROLLER, 4ST (REAR: HOMEOWNER) HUNTER XC-400, 4 STATION CONTROLLER, RESIDENTIAL USE. PLASTIC CABINET, OUTDOOR, WITH 3 INDEPENDENT PROGRAMS. 120 VAC.	1	
	IRRIGATION CONTROLLER, 4ST (REAR: HOMEOWNER) HUNTER XC-400, 4 STATION CONTROLLER, RESIDENTIAL USE. PLASTIC CABINET, OUTDOOR, WITH 3 INDEPENDENT PROGRAMS. 120 VAC.	1	
	IRRIGATION CONTROLLER, 4ST (REAR: HOMEOWNER) HUNTER XC-400, 4 STATION CONTROLLER, RESIDENTIAL USE. PLASTIC CABINET, OUTDOOR, WITH 3 INDEPENDENT PROGRAMS		



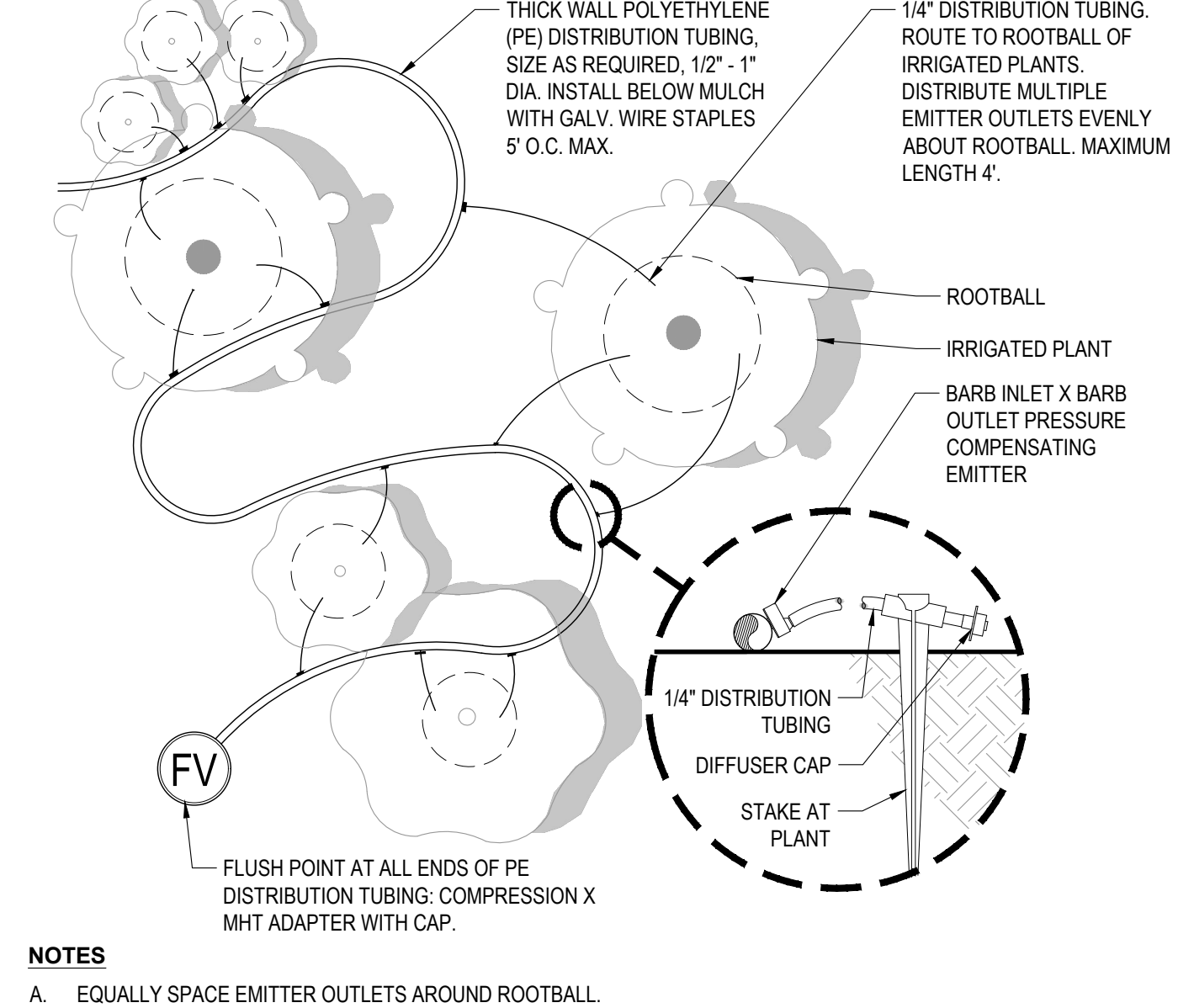
1 SHUTOFF VALVE (RESIDENTIAL)
NO SCALE



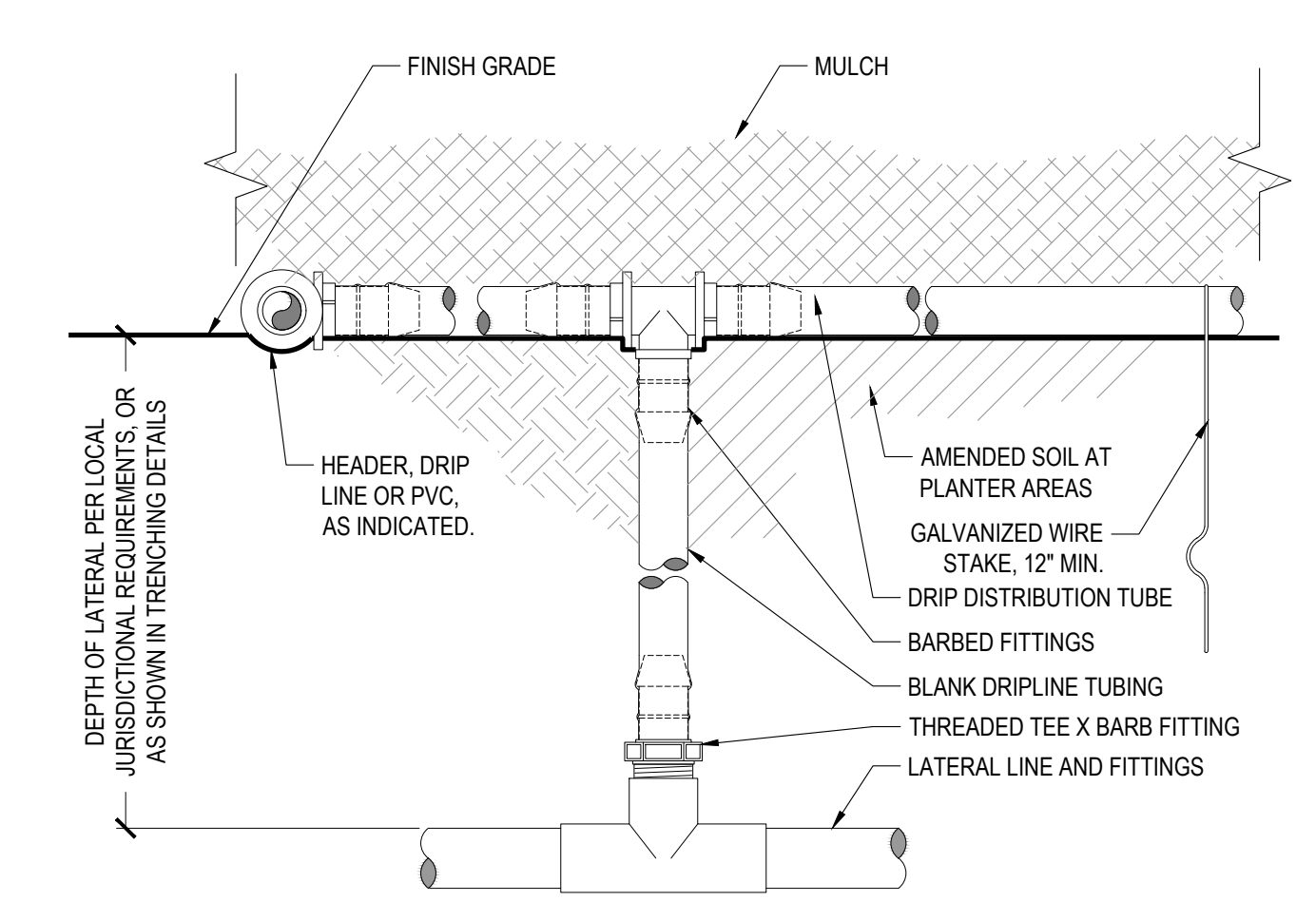
2 REMOTE CONTROL VALVE: RESIDENTIAL
NO SCALE



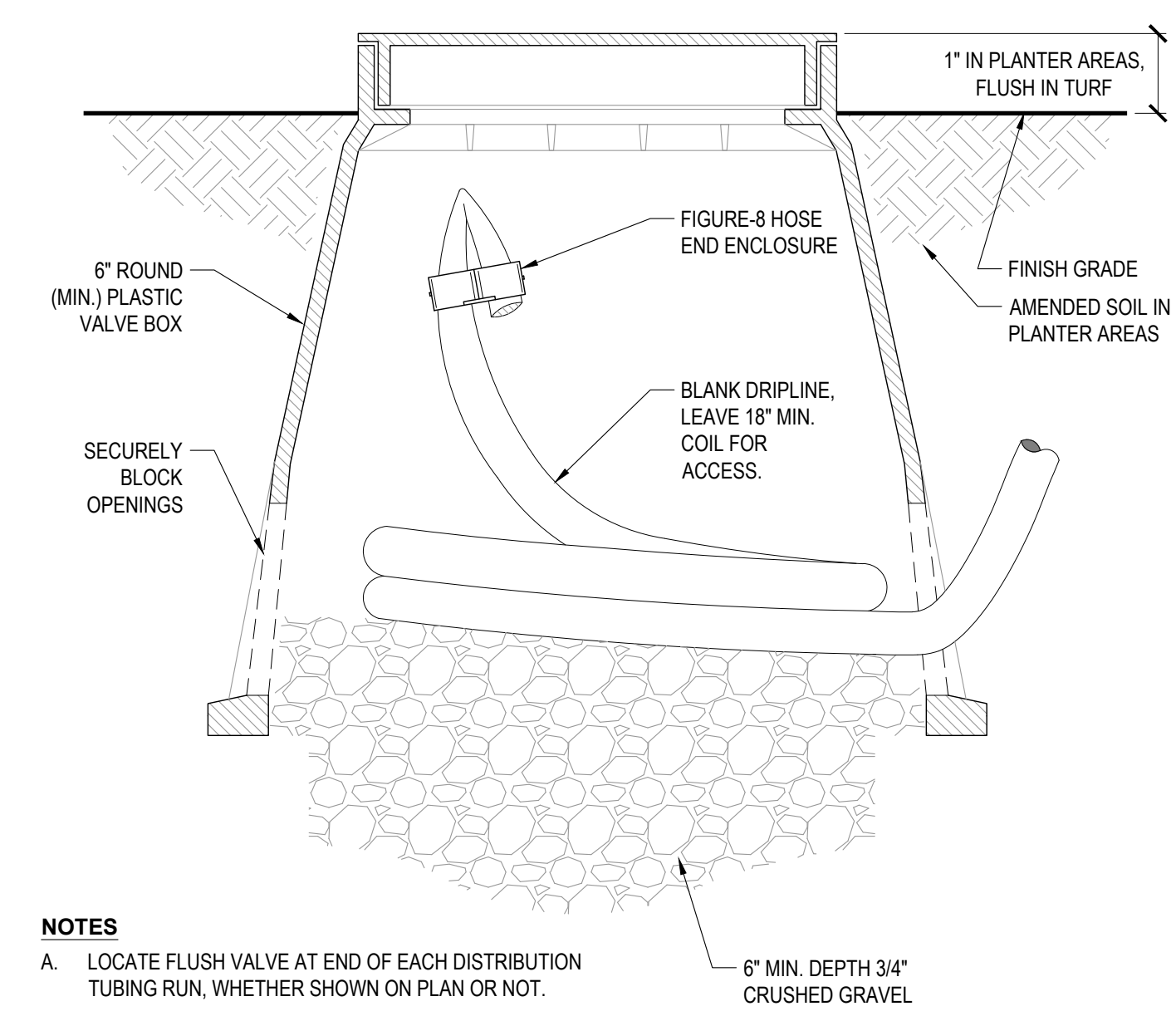
3 POP-UP HEAD
NO SCALE



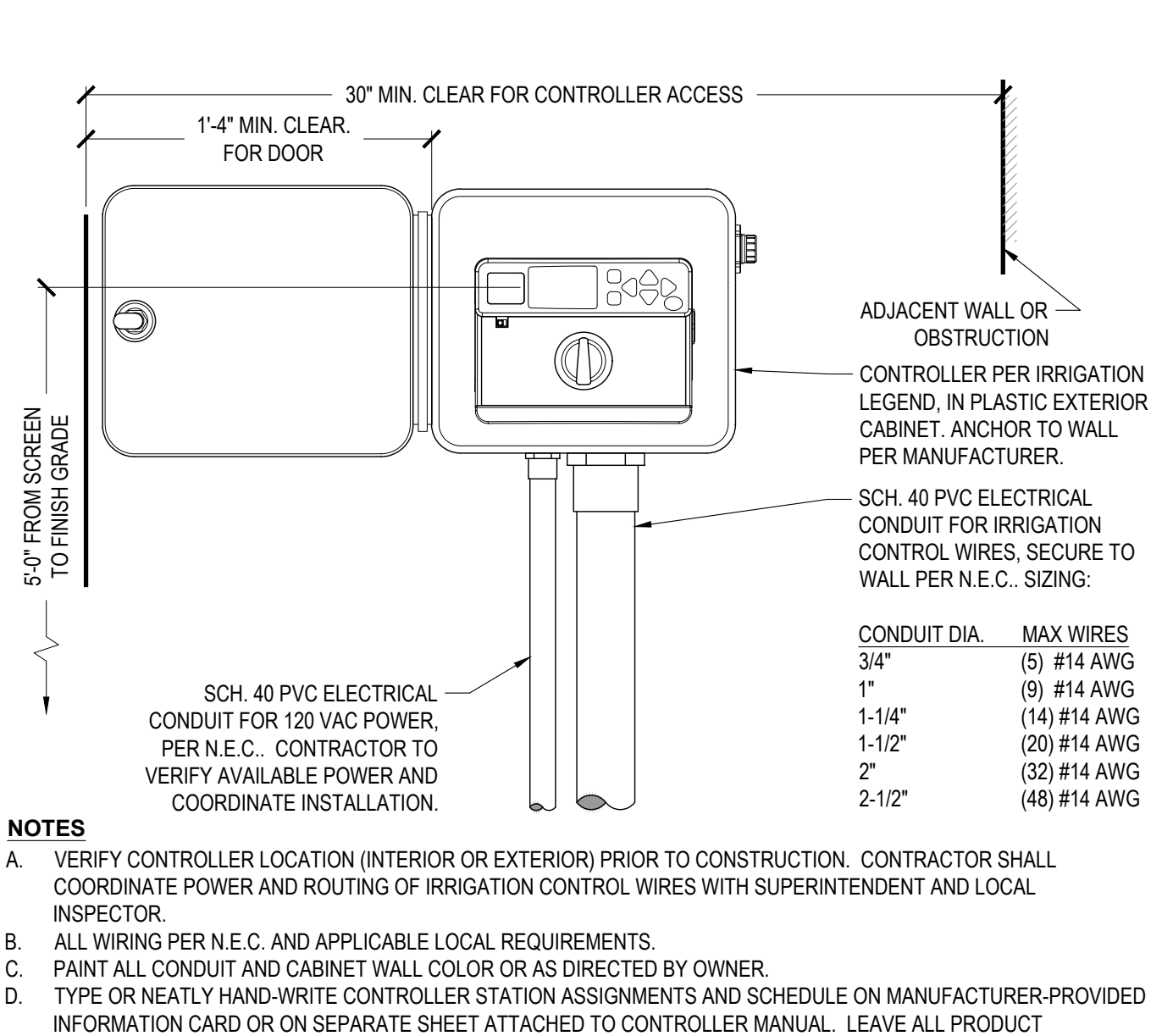
4 DRIP EMITTER LAYOUT
NO SCALE



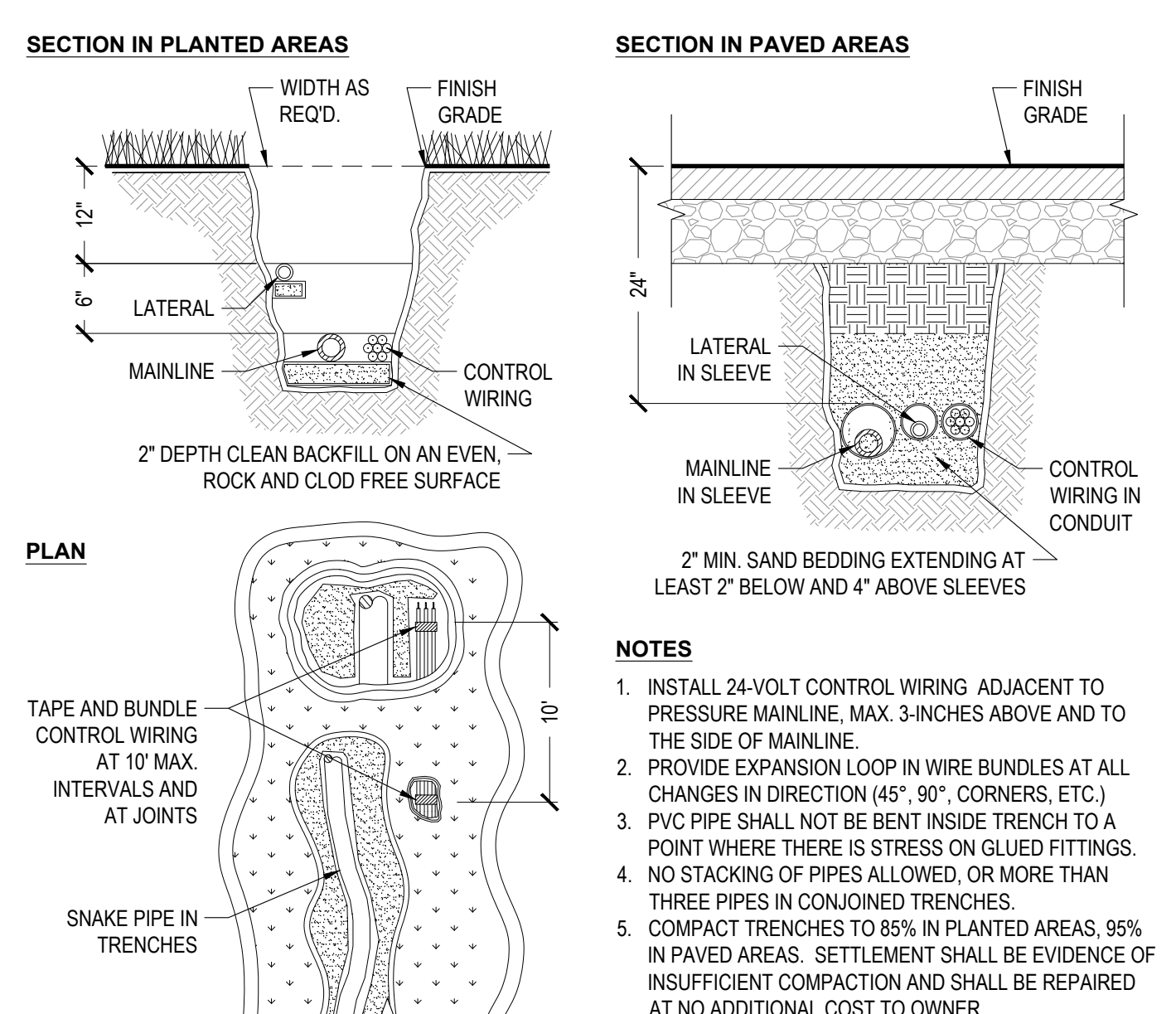
5 POINT-SOURCE DRIP: LATERAL CONNECTION
NO SCALE



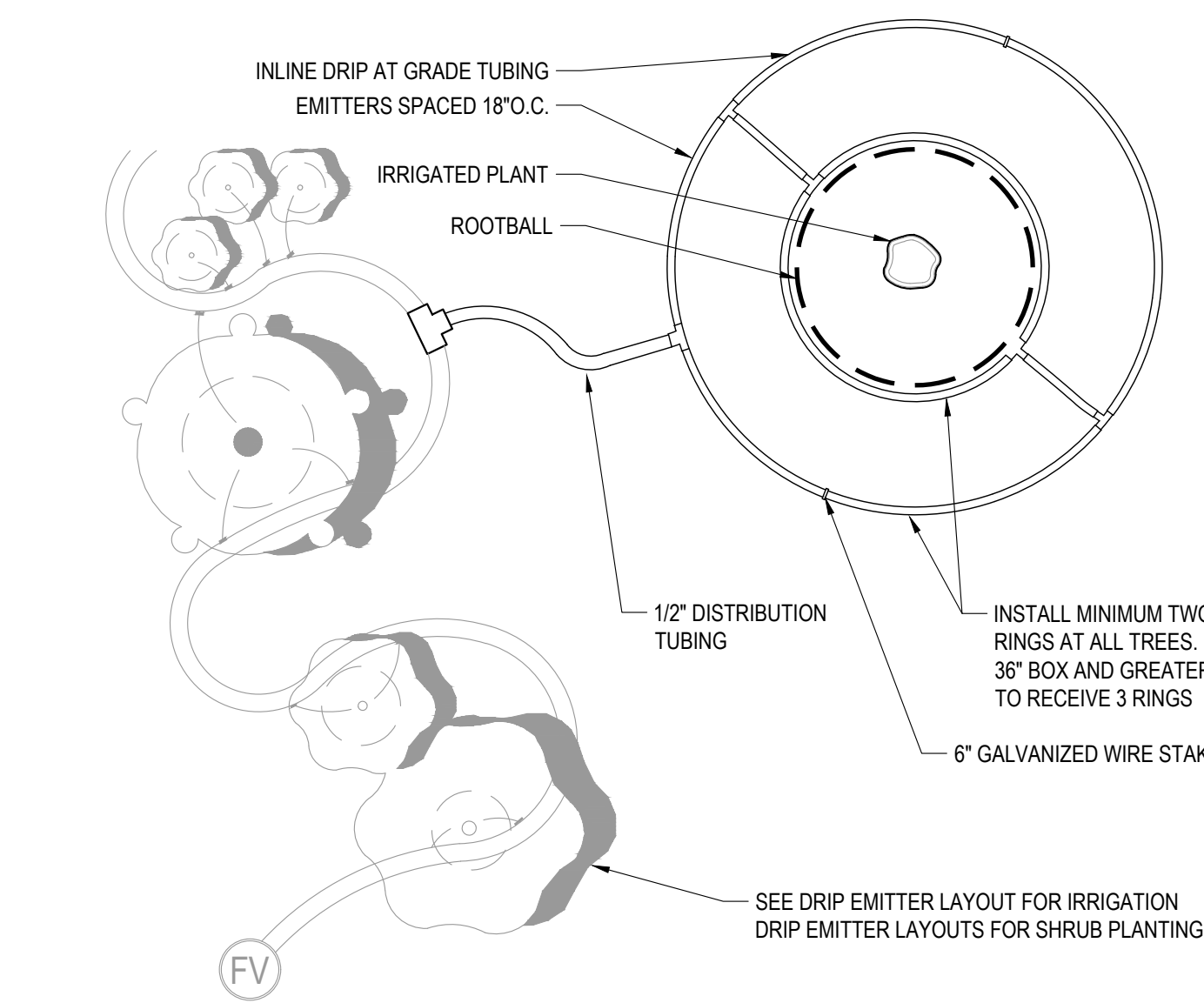
6 DRIPLINE: FLUSH VALVE
NO SCALE



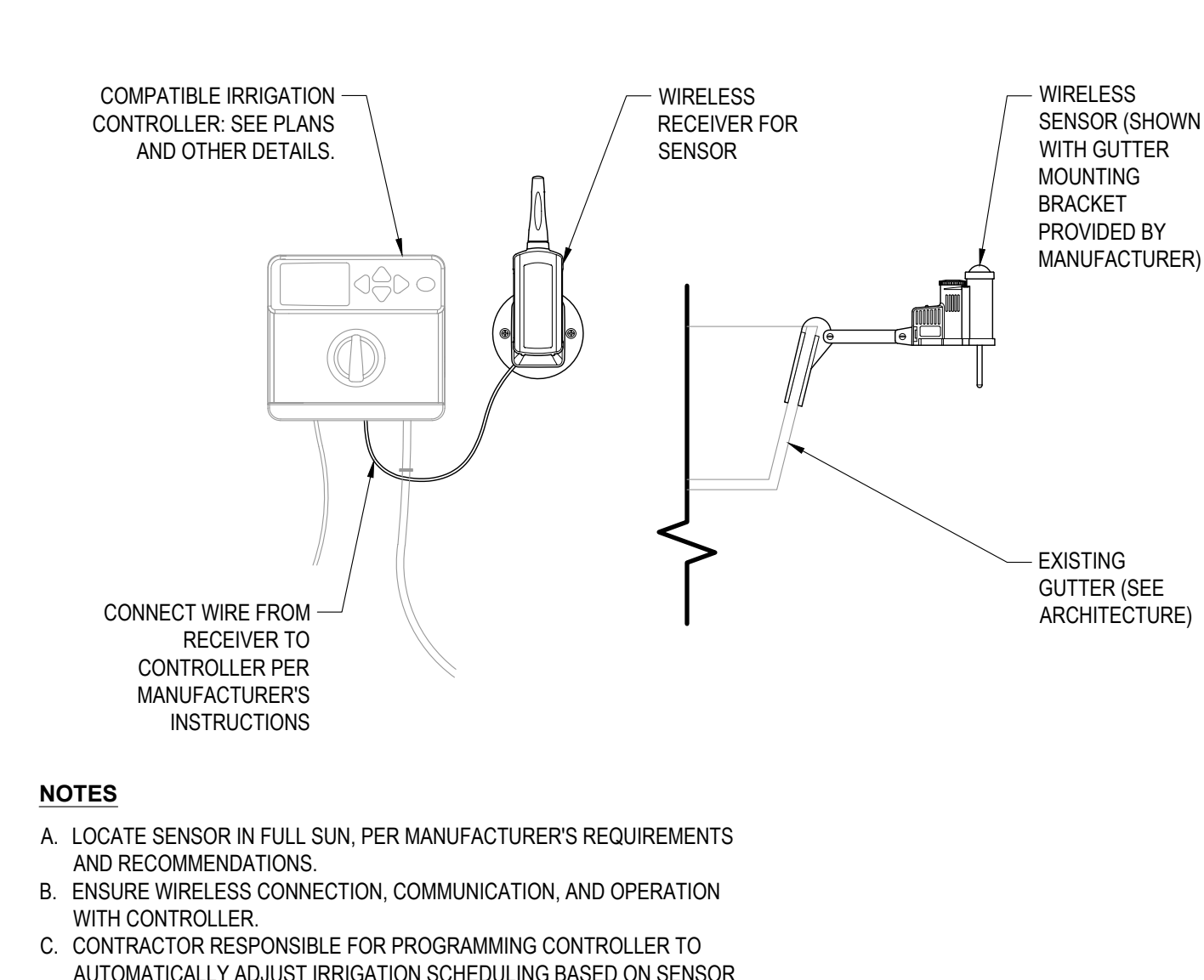
7 IRRIGATION CONTROLLER: WALL MOUNT (EXTERIOR)
NO SCALE



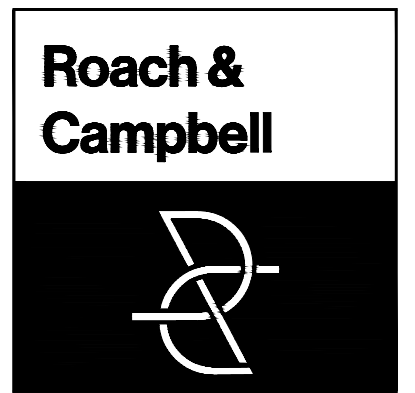
8 IRRIGATION TRENCHING
NO SCALE



9 INLINE DRIP AT TREES
NO SCALE



10 WEATHER SENSOR (WIRELESS)
NO SCALE



111 Scripps Drive
Sacramento,
California 95825
916.945.8003 | 916.342.7119
4409 CRLA 5044

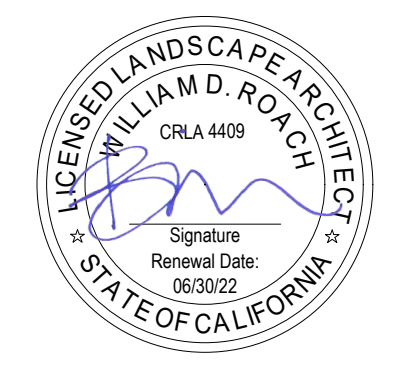
MODEL COMPLEX LANDSCAPE PLANS FOR VIDA & DAWN
(N2 AND N4 AT THE COLLECTIVE) MANTECA, CA

BY TRUMARK HOMES

KEYMAP:

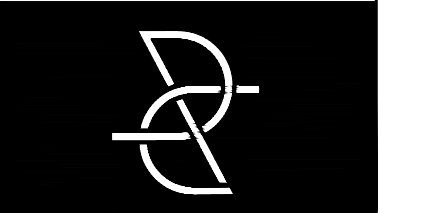
IRRIGATION DETAILS

DRAWN BY:
CHECKED BY:
WDR
JOB NO.
21040
DATE
SEPTEMBER 17, 2021
REVISIONS:



DATE SIGNED: 09/17/21

L3.4



MODEL
COMPLEX
LANDSCAPE
PLANS FOR

**VIDA &
DAWN**

(N2 AND N4 AT THE
COLLECTIVE)
MANTECA, CA

BY TRUMARK
HOMES

KEYMAP:

VIDA PLANTING PLAN

DRAWN BY:

CHECKED BY:

WDR

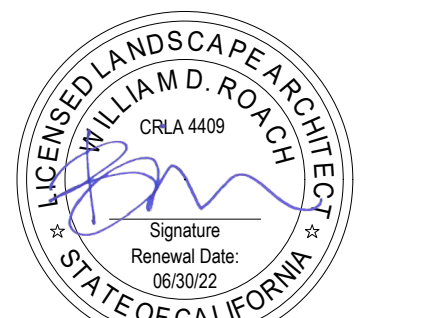
JOB NO.

21040

DATE

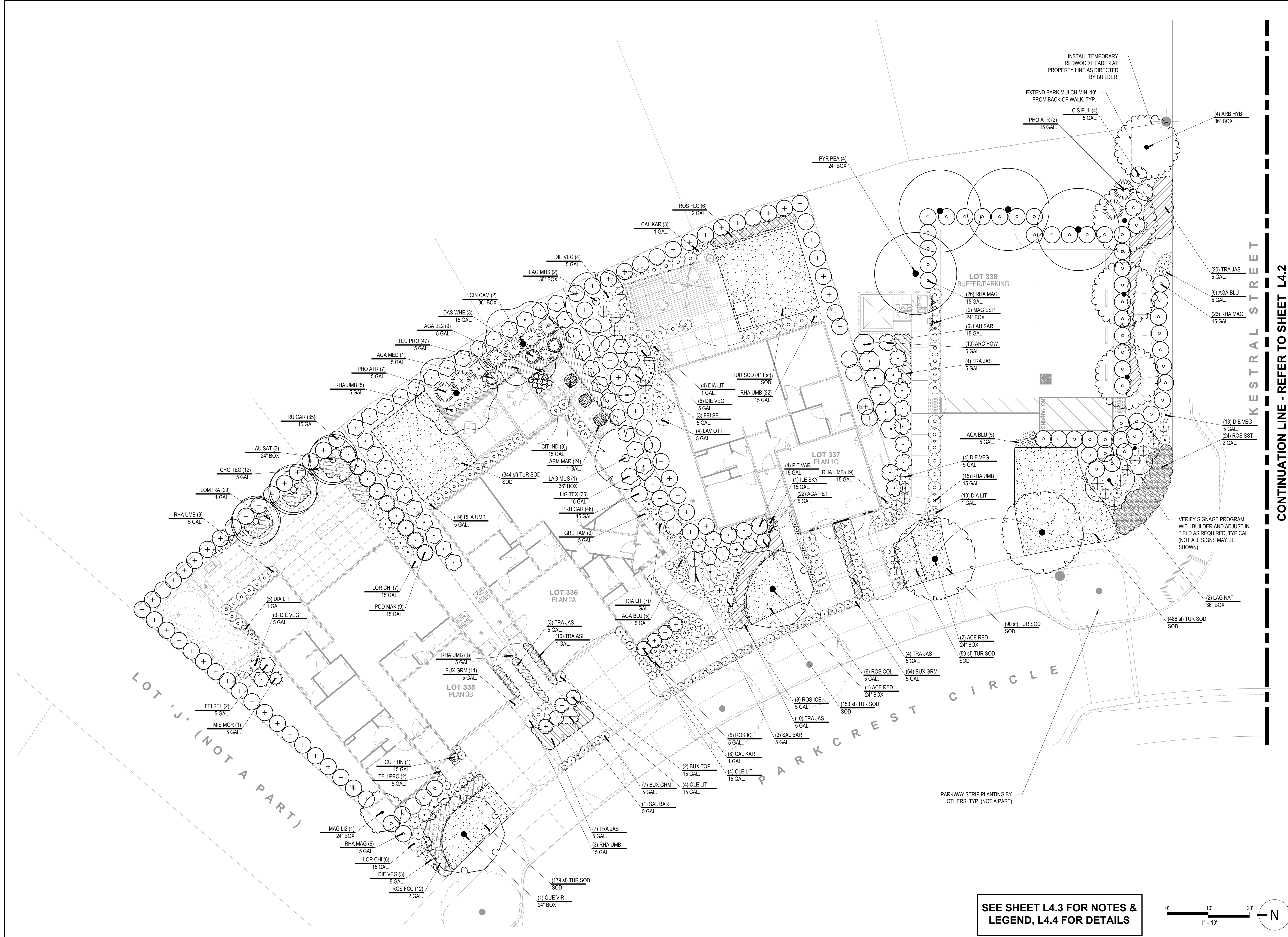
SEPTEMBER 17, 2021

REVISIONS:



DATE SIGNED: 09/17/21

L4.1



CONTINUATION LINE - REFER TO SHEET L4.2

SEE SHEET L4.3 FOR NOTES &
LEGEND, L4.4 FOR DETAILS

PLANTING NOTES

- SITE ACCEPTANCE:** THE CONTRACTOR SHALL OBSERVE THE SITE AND VERIFY THAT ROUGH GRADING AND ALL OTHER WORK HAS BEEN COMPLETED TO THE CONTRACTOR'S SATISFACTION. ANY PREVIOUS WORK THAT IS NOT COMPLETE SHALL BE BROUGHT TO THE OWNER'S OR LANDSCAPE ARCHITECT'S ATTENTION IN WRITING. BEGINNING WORK CONSTITUTES ACCEPTANCE OF THE SITE.
- SITE PREPARATION:** ALL EXISTING VEGETATION SHALL BE REMOVED (CLEAR AND GRUB). PRIOR TO ROUGH GRADING OPERATIONS, PRESERVE ALL TOPSOIL BY STOCKPILING ON SITE. TOPSOIL SHALL BE REPLACED IN PLANTING AREAS TO ACHIEVE FINAL FINISH GRADES. FOR PLANTERS IN LIME-TREATED AREAS, REMOVE AND DISPOSE OF EXISTING SOIL TO A DEPTH OF 24" THROUGHOUT THE ENTIRE PLANTER, AND REPLACE WITH CLEAN TOPSOIL.
- POSITIVE DRAINAGE:** ENSURE POSITIVE DRAINAGE IN ALL LANDSCAPE AREAS, AND SHALL ADJUST ELEVATIONS AS REQUIRED. MINIMUM SLOPE IN TURF AREAS SHALL BE 0.5% TO OUTLET, MINIMUM SLOPE IN PLANTED AREAS SHALL BE 1.0%.
- EXPLANATION OF DRAWINGS:** PLANTING INTENT IS TO COMPLETELY FILL ALL PLANTING AREAS, UNLESS SPECIFICALLY NOTED OTHERWISE. QUANTITIES, (IF SHOWN) ARE FOR CONTRACTOR'S CONVENIENCE ONLY, AND SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO INSTALL PLANTS TO MEET THIS INTENT. PLANTING DETAILS ARE CONSIDERED TYPICAL AND ALL WORK SHALL CONFORM TO THESE DETAILS.
- SUBSTITUTIONS:** IN THE EVENT ANY PLANT MATERIAL SPECIFIED IS NOT AVAILABLE, CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTION IMMEDIATELY TO LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO DETERMINE THE SUITABILITY OF ANY PROPOSED SUBSTITUTION. SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING PIT DRAINAGE:** EXCAVATED PLANTING PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN 2 HOURS OF FILLING. IF PLANTING PITS DO NOT DRAIN, OTHER MEASURES, INCLUDING A 1" DIAMETER X 8" DEEP AUGURED HOLE BACKFILLED WITH CRUSHED DRAIN ROCK, WILL BE REQUIRED.
- PLANT MATERIAL:** ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z60.1 "STANDARD FOR NURSERY STOCK," NOTES AND DETAILS ON THE DRAWINGS. UNLESS OTHERWISE NOTED MINIMUM PLANT SIZES SHALL BE AS FOLLOWS. EVERGREEN SHRUBS (EXCEPT DWARF VARIETIES): 9" H. X 8" W. FOR 1-GALLON (#1); 15" H. X 12" W. FOR 5-GALLON (#5); AND 30" H. X 24" W. FOR 15-GALLON (#15). SINGLE TRUNK TREES: 5" H. W. 1" CALIPER FOR 15-GALLON (#15); 8" H. W. 2" CALIPER FOR 24" BOX (#25). CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES 36" AND ABOVE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PURCHASE OR DELIVERY. APPROVAL OF PHOTOS DOES NOT PRECLUDE ON-SITE REJECTION OF UNSUITABLE PLANT MATERIAL.
- SITE CLEANLINESS:** THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN. FOR SOIL EROSION CONTROL MEASURES, AND FOR ANY OTHER GENERAL REQUIREMENTS. SHOULD EXISTING CONDITIONS REQUIRE MITIGATION, THE CONTRACTOR SHALL ALERT THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO PERFORMING WORK.
- UNDERGROUND UTILITIES:** THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. CALL C.G.A. (811) TO LOCATE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITIES, TO THE SATISFACTORY OF THE OWNER AND GOVERNING AGENCY AT NO COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- BARK MULCH:** A 3" LAYER OF "WALK-ON" BARK MULCH SHALL BE INSTALLED IN ALL PLANTING BEDS. CONTRACTOR SHALL SUBMIT A MULCH SAMPLE PRIOR TO ORDER. APPLY PRE-EMERGENT PRIOR TO PLACING MULCH. IF MAINTENANCE PERIOD EXTENDS PAST 90 CALENDAR DAYS FROM APPLICATION, APPLY AGAIN PER MANUFACTURER'S INSTRUCTIONS.
- SOIL FERTILITY ANALYSIS AND AMENDMENT:** THE CONTRACTOR SHALL OBTAIN ONE (1) SOILS FERTILITY ANALYSIS FOR THE MODEL COMPLEX. ALL PLANTING AREAS SHALL BE AMENDED PER THE SOILS REPORT, AND PER LOCAL ORDINANCE. EVEN WHEN NOT REQUIRED BY THE SOILS FERTILITY TEST, APPLY A MINIMUM OF 4" COMPOST OVER ALL PLANTED AREAS AND TILL INTO TOP 8" OF SOIL, ALONG WITH OTHER RECOMMENDATIONS PER THE SOILS FERTILITY TEST. ALL PLANTING PITS SHALL BE BACKFILLED WITH AMENDED SOIL MIX. DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE AHJ PRIOR TO OCCUPANCY (PER AHJ WATER EFFICIENT LANDSCAPE ORDINANCE). IN ADDITION, BACKFILL FOR ALL SUCCULENTS SHALL BE 50% CLEAN WASHED SAND.
- ESTABLISHMENT PERIOD:** SHALL BE A MINIMUM OF 30 CALENDAR DAYS, BEGINNING UPON WRITTEN VERIFICATION OF SUBSTANTIAL COMPLETION BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ESTABLISHMENT PERIOD SHALL CONSIST OF REGULAR LANDSCAPE MAINTENANCE BY THE INSTALLING CONTRACTOR, ENSURING ALL PLANTING IS IN A VIGOROUS AND HEALTHY CONDITION, AND ALLOWING PLANTS TO GROW IN AND ACCLIMATE TO THE SITE. ANY PLANT THAT HAS BEEN REPLACED DURING THE ESTABLISHMENT PERIOD SHALL BE SUBJECT TO AN ADDITIONAL ESTABLISHMENT PERIOD EQUAL TO THE ORIGINAL ESTABLISHMENT PERIOD, BEGINNING ON THE DATE OF REPLACEMENT. ANY DAY OF IMPROPER MAINTENANCE, AS DETERMINED BY THE LANDSCAPE ARCHITECT OR LOCAL JURISDICTION, SHALL NOT COUNT TOWARD THE ESTABLISHMENT PERIOD.
- ROOT CONTROL BARRIERS:** FOLLOW ALL JURISDICTIONAL REQUIREMENTS. AT MINIMUM IF NOT OTHERWISE REQUIRED OR NOTED: WHERE STREET TREES ARE WITHIN 3 FEET OF THE PAVING OR CURB (HARDSCAPE), PROVIDE A ROOT CONTROL BARRIER PANEL ALONG THE FACE OF HARDSCAPE. PANELS SHALL BE MINIMUM 18" DEEP FROM CENTERLINE OF TREE. EXTEND PANELS EXTEND 10" IN EACH DIRECTION AT EDGE OF HARDSCAPE. ADDITIONALLY, MEDIANS WITH TREES SHALL HAVE A 24" DEEP CONTINUOUS ROOT CONTROL BARRIER PANEL. "ENCIRCLING" APPLICATIONS ARE NOT ALLOWED.
- UTILITY CLEARANCE:** FOLLOW ALL JURISDICTIONAL REQUIREMENTS. AT MINIMUM IF NOT OTHERWISE REQUIRED OR NOTED: NO TREES SHALL BE PLANTED WITHIN 5' OF WATER AND SANITARY SEWER LINES. NO TREES SHALL BE PLANTED UNDER EXISTING OR FUTURE OVERHEAD POWERLINES, AND ALL REQUIRED CLEARANCES SHALL BE MAINTAINED. ALL PLANTING EXCEPT LOW-GROWING GROUND COVER SHALL BE 3' CLEAR OF ALL FIRE APPURTENANCES PER NFPA 18.5.7.
- WORK IN RIGHT-OF-WAY:** ALL WORK WITHIN THE RIGHT OF WAY OR TO BE MAINTAINED BY THE LOCAL AGENCY SHALL BE INSTALLED PER THE LATEST EDITION OF THE AGENCY CONSTRUCTION STANDARDS, AND ALL OTHER AGENCY REQUIREMENTS.
- LIME TREATED AREAS:** ANY PLANTER AREA TREATED WITH LIME SHALL BE EXCAVATED TO A DEPTH OF 2", AND THE SPOILS LEGALLY DISPOSED OF OFF SITE. EXCAVATED AREAS SHALL BE BACKFILLED WITH CLEAN TOPSOIL. PROVIDE A SOILS FERTILITY TEST OF PROPOSED TOPSOIL PRIOR TO IMPORT.
- SLOPES EXCEEDING 3:1:** JUTE MESH NETTING IS REQUIRED WITHIN DISTURBED, PLANTED AREAS FOR TEMPORARY STABILIZATION. REFER TO APPLICABLE JURISDICTIONAL STANDARDS FOR SPECIFIC INSTALLATION REQUIREMENTS. MINIMUM OVERLAP 3' AT NEW PIECES, BURY UPPER END OF NETTING IN 18" DEEP TRENCH.
- TURF INSTALLATION:** CONTRACTOR SHALL PLACE AND ESTABLISH SOD IN ALL AREAS AS DELINEATED ON THE PLANS AS FOLLOWS.
 - REMOVE ALL ROCKS AND OTHER DELETERIOUS MATERIAL GREATER THAN 3/4" IN DIAMETER. ESTABLISH SMOOTH GRADES, WITH NO PONDING. ENSURE ADEQUATE SOIL COMPACTION TO AVOID SETTLEMENT, WITHOUT EXCEEDING 85% RELATIVE DENSITY. SUBSEQUENT SETTLEMENT SHALL BE CLEAR EVIDENCE OF INADEQUATE COMPACTION.
 - WITHIN 24 TO 48 HOUR OF SODDING, MOISTEN AREA TO BE SODDED TO A DEPTH OF AT LEAST 6", AND MAINTAIN MOISTURE UNTIL SODDING. DO NOT ALLOW SOIL TO BE COME SATURATED.
 - APPLY A STARTER FERTILIZER PRIOR TO LAYING SOD.
 - INSTALL SOD WITHIN 12 HOURS OF DELIVERY. DO NOT ALLOW SOD TO SIT IN DIRECT SUNLIGHT OR TO DRY OUT.
 - STARTING AT A STRAIGHT EDGE, LAY SOD IN STAGGERED ROWS, OFFSETTING JOINTS A MINIMUM OF 2 FEET.
 - AFTER LAYING, ROLL SOD WITH A LIGHT-WEIGHT WATER-DRUM ROLLER (APPROXIMATELY 50 LBS), AND ENSURE FULL CONTACT WITH SOIL. WATER AS SOON AS POSSIBLE, AND IN ALL CASES, WITHIN 1 HOUR AFTER LAYING.

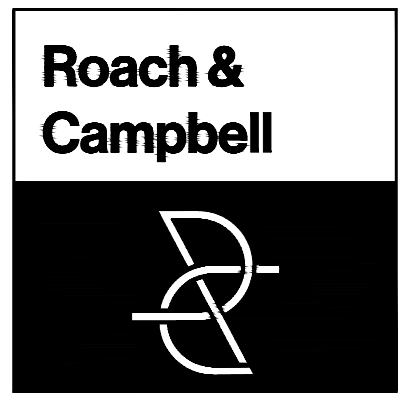
MODEL COMPLEX PLANTING NOTES

- ALL PLANTS SHALL BE GRADED "RETAIL," "BEST," OR EQUAL SUPERIOR QUALITY RELATIVE TO WHOLESALE STOCK.
- SUBMIT SUBSTITUTION REQUESTS IN WRITING TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING. REQUEST SHALL INCLUDE:
 - PLANT ORIGINALLY SPECIFIED
 - NURSERIES CONTACTED
 - PROPOSED SUBSTITUTION(S)
- SUBMIT PHOTOS (WITH HEIGHT INDICATOR) FOR ALL TREES LARGER THAN 24" BOX.
- NON-APPROVED PLANTS, OR PLANTS THAT DO NOT MEET THE CRITERIA ABOVE, INDUSTRY STANDARDS, OR THAT SHOW EVIDENCE OF DAMAGE OR IMPROPER HANDLING, ARE SUBJECT TO REJECTION.

PLANT LEGEND

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY						
	ACE MUL	ACER PALMATUM / MULTI-TRUNK JAPANESE MAPLE WUCOLS (M), MIN. 6" T. X 4" W.	36" BOX	1		LAU SAR	LAURUS 'SARATOGA' / SWEET BAY WUCOLS (L)	15 GAL. 6		
	ACE RED	ACER RUBRUM 'REDPOINTE' / REDPOINTE MAPLE WUCOLS (L)	24" BOX	2		LAV OTT	LAVANDULA DENTATA 'MUNSTEAD' OR 'GOODWIN CREEK' / FRENCH LAVENDER WUCOLS (L), S/W EXPOSURE	5 GAL. 10		
	ARB HYB	ARBUTUS X 'MARINA' / ARBUTUS STANDARD WUCOLS (M)	36" BOX	8		LEU RED	LEUCADENDRON X 'RED GEM' / RED CONEBUSH WUCOLS (M)	5 GAL. 7		
	CIN CAM	CINNAMOMUM CAMPHORA / CAMPHOR TREE WUCOLS (M)	36" BOX	2		LIG TEX	LIGUSTRUM JAPONICUM 'TEXANUM' / WAX LEAF PRIVET WUCOLS (L), UPRIGHT, FULLY BRANCHED	15 GAL. 89		
	CIT IND	CITRUS X 'INDIO' / INDIO MANDARINQUAT WUCOLS (M), VAR. AS AVAILABLE	15 GAL.	3		LIR BIG	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF WUCOLS (M)	1 GAL. 7		
	CUP TIN	CUPRESSUS SEMPERVIRENS 'MONSHEL' TM / TINY TOWER ITALIAN CYPRESS WUCOLS (L)	15 GAL.	1		LOR CHI	LOROPETALUM CHINENSE RUBRUM 'FIRE DANCE' / PURPLE LEAF FRINGE FLOWER WUCOLS (M), ALL EXPOSURES	15 GAL. 13		
	LAG MUS	LAGERSTROEMIA INDICA 'MUSKOGEE' / MUSKOGEE CRAPE MYRTLE WUCOLS (L)	36" BOX	3		LOR CHI	LOROPETALUM CHINENSE RUBRUM 'FIRE DANCE' / PURPLE LEAF FRINGE FLOWER WUCOLS (M), ALL EXPOSURES	5 GAL. 31		
	LAG NAT	LAGERSTROEMIA X 'NATCHEZ' / CRAPE MYRTLE WUCOLS (L), ALL EXPOSURES	36" BOX	4		MAG ESP	MAGNOLIA GRANDIFLORA [AS AVAIL.] / SOUTHERN MAGNOLIA, VAR. AS AVAILABLE WUCOLS (L) ESPALLIER FORM	24" BOX 10		
	LAU SAT	LAURUS NOBILIS / SWEET BAY WUCOLS (L), TREE-FORM (STANDARD)	24" BOX	7		MIS MOR	MISCANTHUS SINENSIS 'MORNING LIGHT' / EULALIA GRASS WUCOLS (M)	5 GAL. 5		
	MAG LIZ	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / DWARF SOUTHERN MAGNOLIA WUCOLS (M)	24" BOX	5		MUH DUB	MUHLENBERGIA DUBIA / PINE MUHLY WUCOLS (L)	1 GAL. 33		
		MAGNOLIA GRANDIFLORA 'LITTLE GEM' / DWARF SOUTHERN MAGNOLIA WUCOLS (M)	36" BOX	2		OLE LIT	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE WUCOLS (L), S/W EXPOSURE	15 GAL. 17		
	OLE MUL	OLEA EUROPAEA / OLIVE MULTI-TRUNK WUCOLS (L) SHALL BE OLD-GROWTH, FIELD DUG. TREES WITHIN EACH DISCRETE AREA SHALL BE MATCHED CANOPY AND TRUNK SIZE. AS AVAILABLE FROM WWW.OLIVETREESDIRECT.COM, PHONE 916.761.0990. SUBMIT TREE PHOTOS FOR APPROVAL BY BUILDER AND LANDSCAPE ARCHITECT	60" FIELD DUG	1		PEN BUN	PENNISSETUM ALOPECUROIDES 'MOUNDRY' / BLACK FLOWERING FOUNTAIN GRASS WUCOLS (L), S/W EXPOSURE	1 GAL. 5		
	OLE MAJ	OLEA EUROPAEA 'MAJESTIC BEAUTY' TM / MAJESTIC BEAUTY FRUITLESS OLIVE WUCOLS (L), LOW BRANCHING, SUBMIT PHOTO PRIOR TO ORDER	48" BOX	1		PHO ATR	PHORMIUM TENAX 'ATROPURPUREUM' / PURPLE NEW ZEALAND FLAX WUCOLS (L)	15 GAL. 9		
	PYR PEA	PYRUS CALLERYANA 'REDSPIRE' / REDSPIRE CALLERY PEAR WUCOLS (M)	24" BOX	4		PHO TEN	PHORMIUM TENAX 'MAORI MAIDEN/SUNRISE' / NEW ZEALAND FLAX WUCOLS (M), S/W EXPOSURE	5 GAL. 3		
	PYR KAW	PYRUS KAWAKAMI / EVERGREEN PEAR WUCOLS (M)	36" BOX	3		PIT VAR	PITOSPORUM TOBIRA 'VARIEGATA' / VARIEGATED MOCK ORANGE WUCOLS (L), S/W EXPOSURES	15 GAL. 11		
	QUE VIR	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK WUCOLS (M), ALL EXPOSURES	24" BOX	5		POD MAK	PODOCARPUS MACROPHYLLUS MAKI / SHRUBBY YEW WUCOLS (M)	15 GAL. 11		
						PRU CAR	PRUNUS CAROLINIANA 'COMPACTA' / COMPACT CAROLINA LAUREL WUCOLS (M)	15 GAL. 174		
						RHA JAC	RHAPHIOLEPIS INDICA 'JACK EVANS' / INDIAN HAWTHORN WUCOLS (L)	15 GAL. 12		
						RHA UMB	RHAPHIOLEPIS UMBELLATA 'MINOR' / DWARF YEDDA HAWHORNE WUCOLS (L)	15 GAL. 66		
						RHA UMB	RHAPHIOLEPIS UMBELLATA 'MINOR' / DWARF YEDDA HAWHORNE WUCOLS (L)	5 GAL. 95		
						RHA MAG	RHAPHIOLEPIS X 'MONTIC' / MAGESTIC BEAUTY INDIAN HAWTHORN WUCOLS (L)	15 GAL. 64		
						ROS ICE	ROSA FLORIBUNDA 'ICEBERG' / ICEBERG ROSE WUCOLS (M)	5 GAL. 24		
						ROS BAR	ROSMARINUS OFFICINALIS 'BARBEQUE' / ROSEMARY WUCOLS (L)	1 GAL. 4		
						ROS COL	ROSMARINUS OFFICINALIS 'COLLINGWOOD INGRAM' / ROSEMARY WUCOLS (L)	5 GAL. 6		
						ROS TUS	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY WUCOLS (L)	15 GAL. 13		
						SAL SAL	SALVIA GREGGII 'FURMAN'S RED' / FURMAN'S RED SALVIA WUCOLS (L)	5 GAL. 7		
						SAL BAR	SALVIA LEUCANTHA 'SANTA BARBARA' / MEXICAN BUSH SAGE WUCOLS (L), S/W EXPOSURES	5 GAL. 4		
					GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
						BAC BLU	BACOPA X 'WHITE' / WHITE BACOPA (SUTERA CORDATA) WUCOLS (M), RETAIL, AS AVAIL.	4" POT	8" o.c.	42
						LOM IRA	LOMANDRA LONGIFOLIA 'BREEZE' TM / BREEZE MAT RUSH WUCOLS (M)	1 GAL.	24" o.c.	29
						ROS FCC	ROSA X 'FLOWER CARPET CORAL' / ROSE WUCOLS (M)	2 GAL.	36" o.c.	12
						ROS FLO	ROSA X 'FLOWER CARPET WHITE' / ROSE WUCOLS (M)	2 GAL.	36" o.c.	6
						ROS SST	ROSA X 'MEIZORLAND' TM / WHITE DRIFT GROUND COVER ROSE WUCOLS (M)	2 GAL.	30" o.c.	58
						TEU PRO	TEUCRIUM CHAMAEDRY'S 'PROSTRATUM' / PROSTRATE GERMANDER WUCOLS (L)	5 GAL.	24" o.c.	49
						THY PUR	THYMUS PRAEOX 'PURPLE CARPET' / MOTHER OF THYME WUCOLS (L)	FLAT	12" o.c.	40
						TRA ASI	TRACHELOSPERMUM ASIATICUM / ASIAN JASMINE WUCOLS (M)	1 GAL.	24" o.c.	42
						TRA JAS	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE WUCOLS (M)	5 GAL.	36" o.c.	69
						TUR SOD	TURF / BOLERO PLUS TURF WUCOLS (H)	SOD		3,482 SF

SEE SHEET L4.3 FOR NOTES & LEGEND, L4.4 FOR DETAILS



111 Scripps Drive
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4409 CRLA 5044

MODEL COMPLEX LANDSCAPE PLANS FOR VIDA & DAWN (N2 AND N4 AT THE COLLECTIVE) MANTECA, CA

BY TRUMARK HOMES

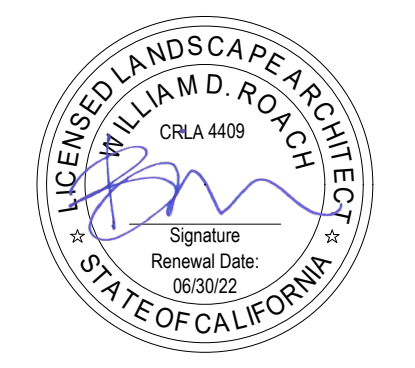
KEYMAP:

PLANTING LEGEND AND NOTES

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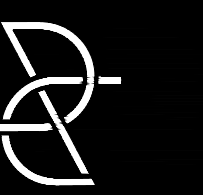
CHECKED BY:
WDR
JOB NO.
21040
DATE
SEPTEMBER 17, 2021

REVISIONS:



DATE SIGNED: 09/17/21

CLIENT REVIEW/FIRST SUBMITTAL - NOT FOR CONSTRUCTION



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California 95825
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**MODEL
COMPLEX
LANDSCAPE
PLANS FOR**

**VIDA &
DAWN**

(N2 AND N4 AT THE
COLLECTIVE)
MANTECA, CA

**BY TRUMARK
HOMES**

KEYMAP:

PLANTING DETAILS

DRAWN BY:

CHECKED BY:

WDR

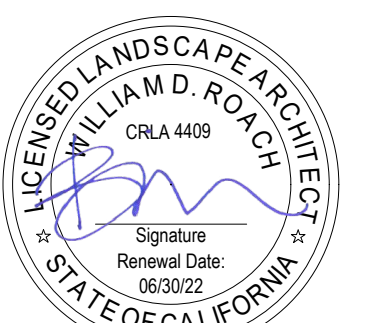
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DATE

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REVISIONS:



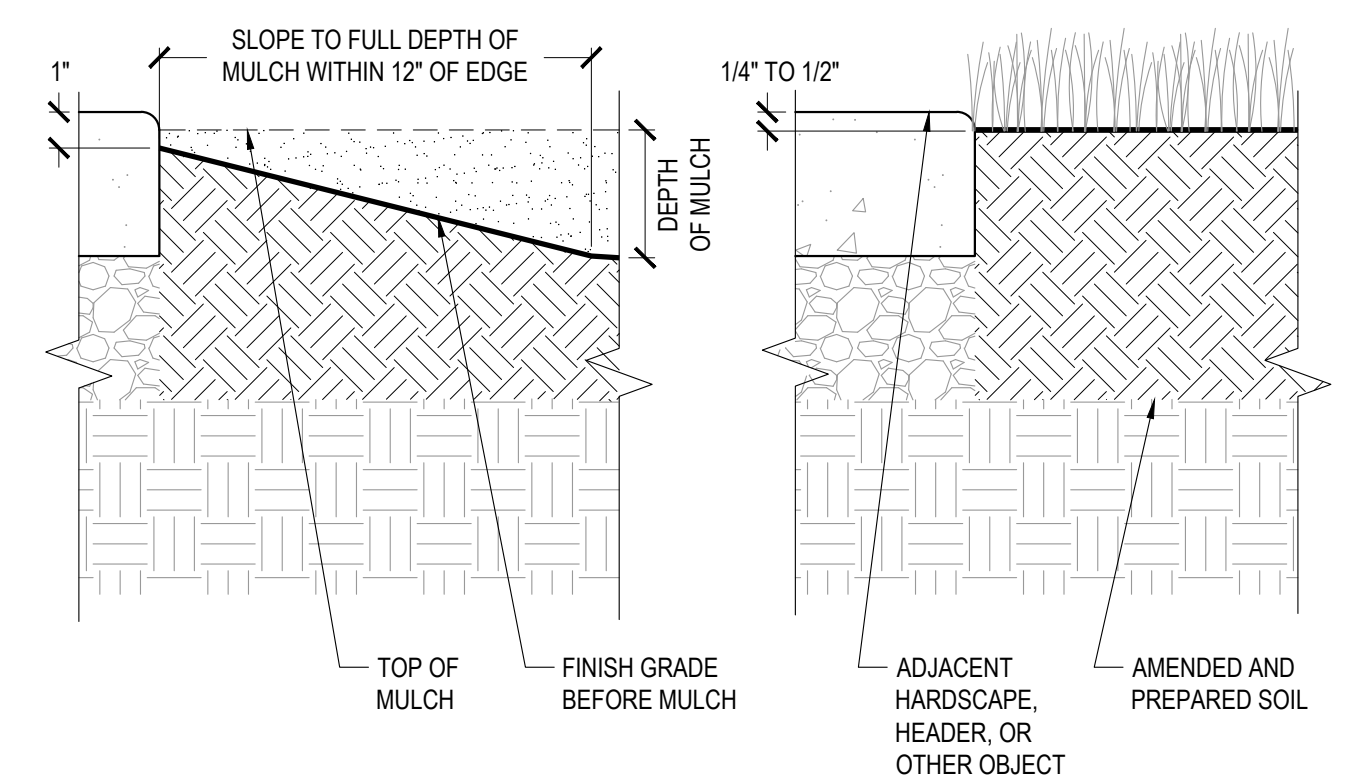
DATE SIGNED: 09/17/21

L4.4

DRAWINGS IN SET:

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PLANTED AREAS



NOTES

A. PROVIDE POSITIVE DRAINAGE TO OUTLET IN ALL PLANTED AREAS. DO NOT ALLOW SURFACE DRAINAGE ONTO WALKWAYS, DRIVEWAYS, OR OTHER HARDSCAPE, OR SURFACE DRAINAGE TOWARD OR AGAINST STRUCTURES.

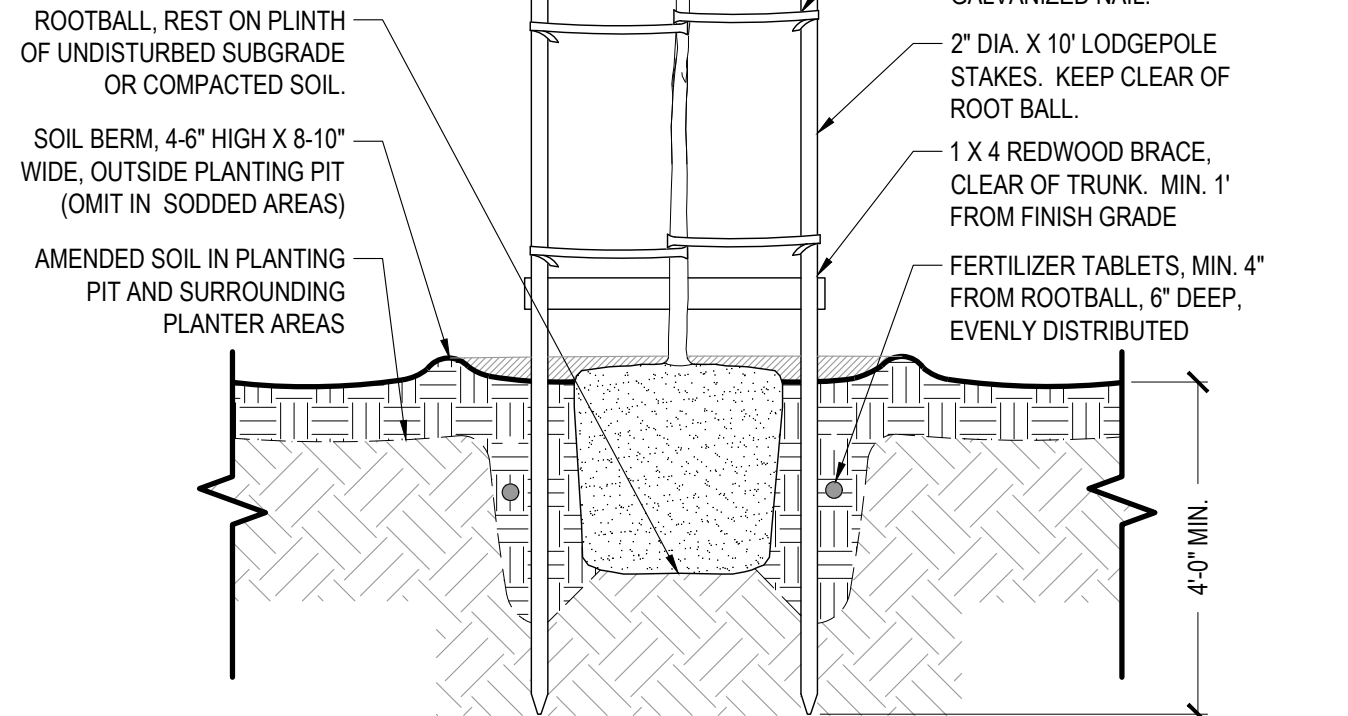
1 | PLANTED AREA EDGE CONDITION AT HARDSCAPE

NO SCALE SECTION

NOTES

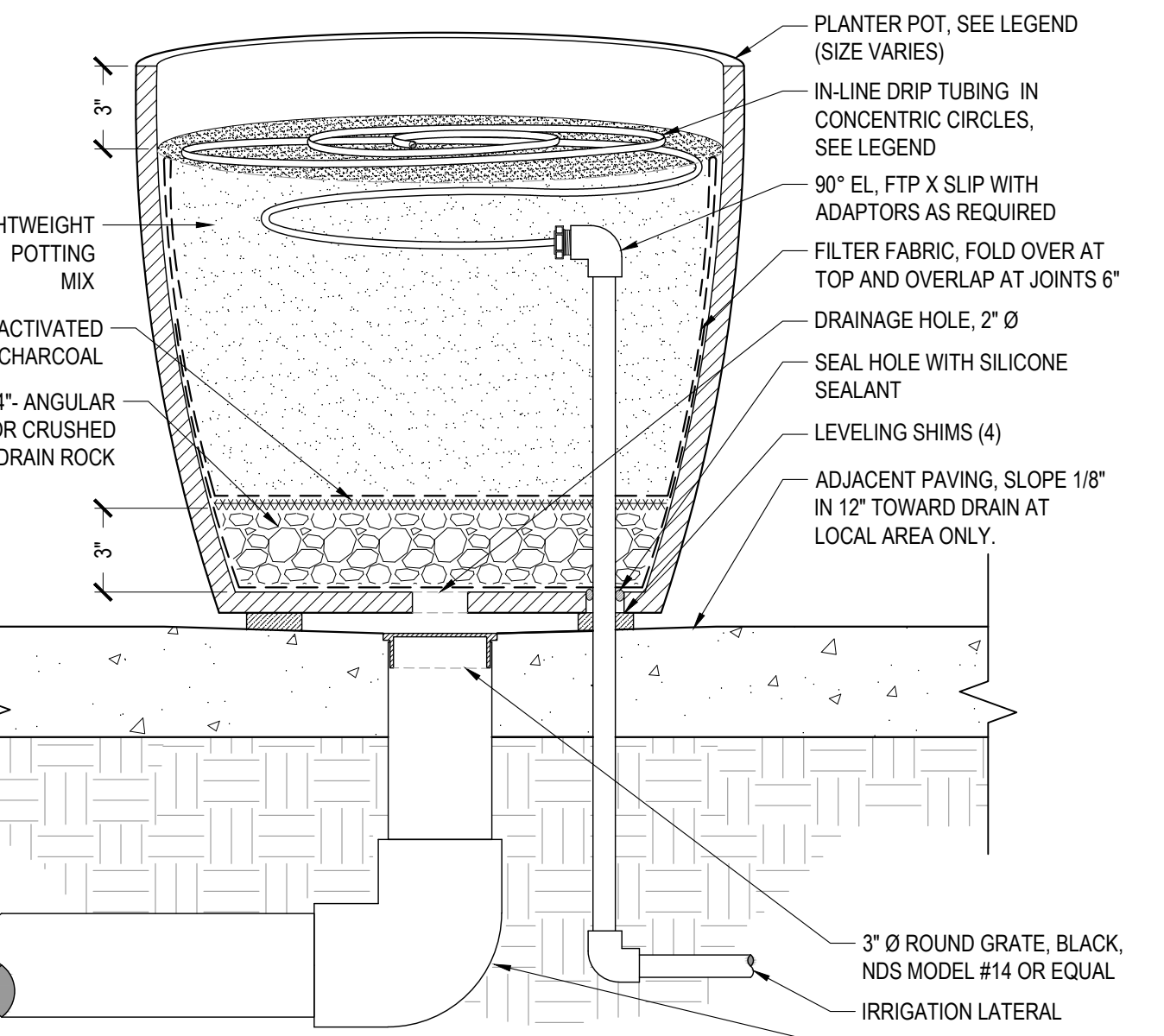
- A. MULCH MIN. 3" DEPTH, KEEP 6" FROM TRUNK.
- B. PLANTING PIT DIAMETER MIN. 2X DIAMETER OF CONTAINER.
- C. FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW-RELEASE, QUANTITY AS FOLLOWS:

15 GALLON:	8 TABLETS
24" BOX:	16 TABLETS
36" BOX:	20 TABLETS
48" BOX:	32 TABLETS



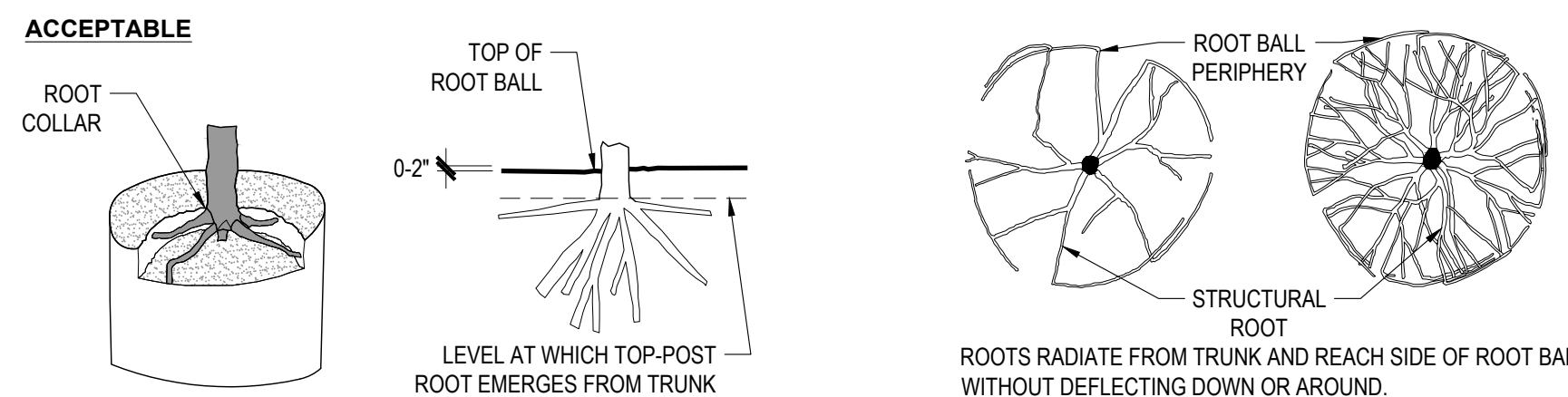
4 | TREE PLANTING: STANDARD UP TO 36" BOX

NO SCALE SECTION

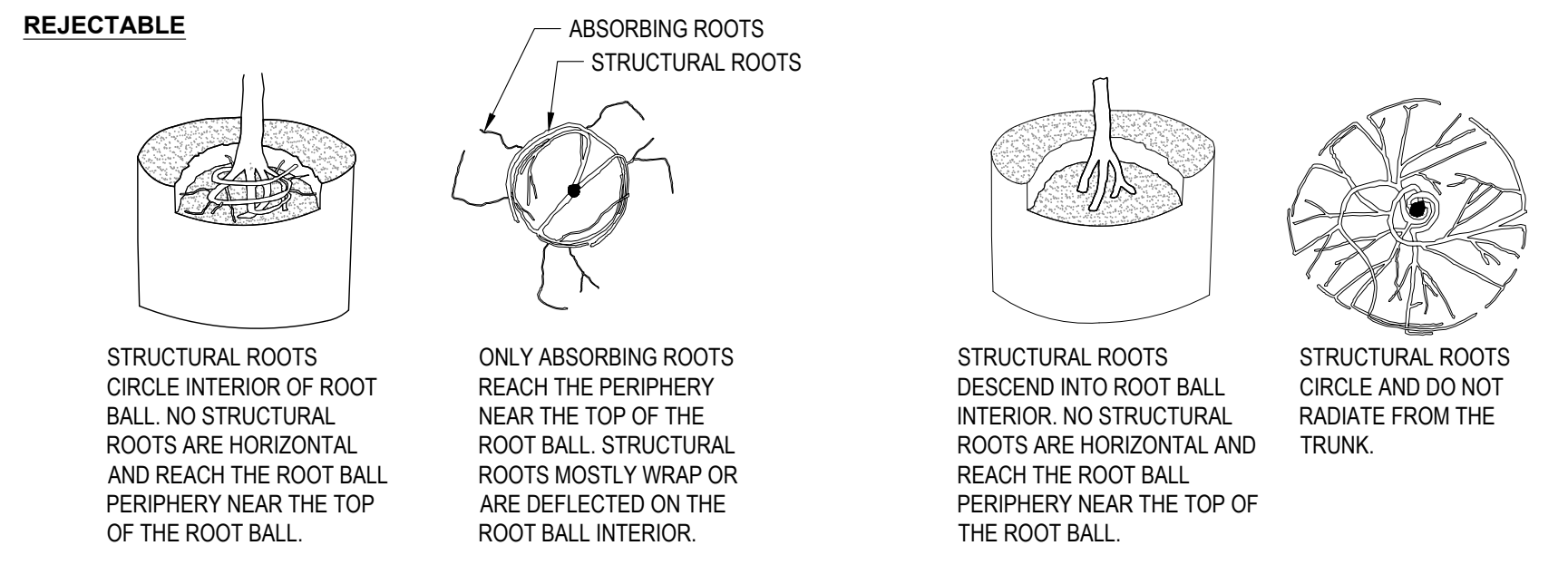


8 | PLANTED POT

1" = 0'-6" SECTION



THE POINT WHERE TOP-MOST ROOT(S) EMERGES FROM THE TRUNK (ROOT COLLAR) SHOULD BE WITHIN THE TOP 2" OF SUBSTRATE. THE ROOT COLLAR AND THE ROOT BALL INTERIOR SHOULD BE FREE OF DEFECTS INCLUDING CIRCLING, KINKED, ASCENDING, AND STEM GIRDLING ROOTS. STRUCTURAL ROOTS SHALL REACH THE PERIPHERY NEAR THE TOP OF THE ROOT BALL.



2 | ROOT STRUCTURE (CONTAINERIZED PLANTS)

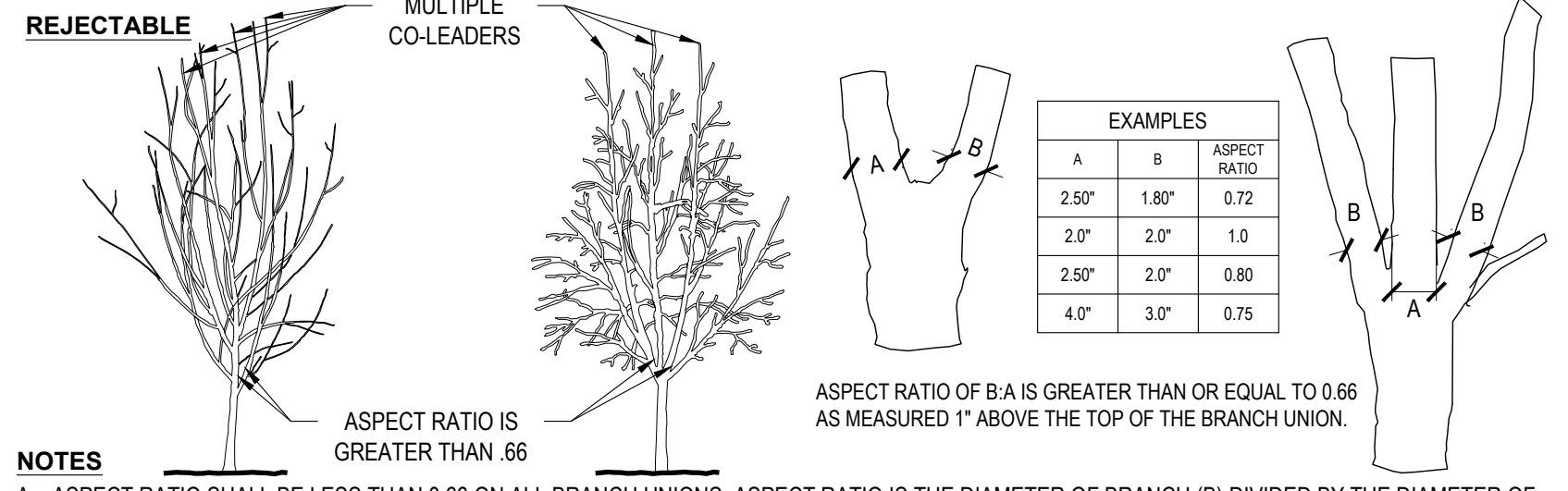
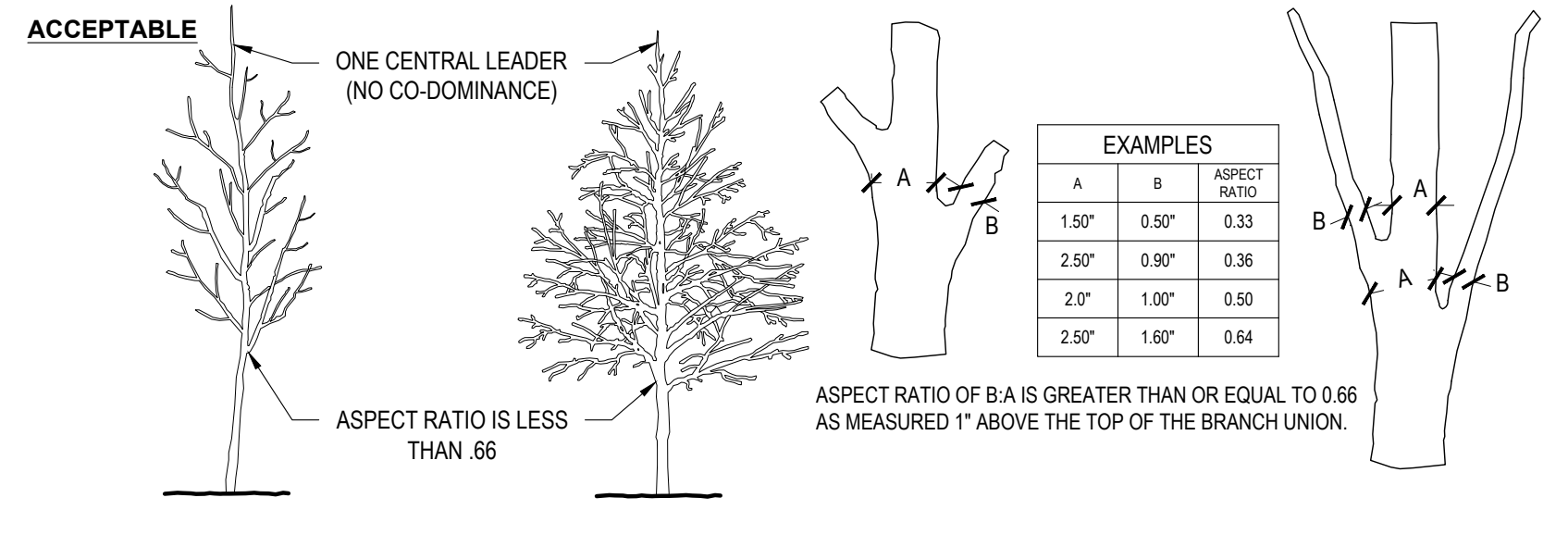
NO SCALE AS NOTED

NOTES

A. OBSERVATIONS OF ROOTS SHALL OCCUR PRIOR TO ACCEPTANCE. ROOTS AND SUBSTRATE MAY BE REMOVED DURING THE OBSERVATION PROCESS. SUBSTRATE/SOIL SHALL BE REPLACED AFTER OBSERVATION HAS BEEN COMPLETED.

B. SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY MAY BE REMOVED AT THE TIME OF PLANTING.

C. SEE SPECIFICATIONS FOR OBSERVATION PROCESS AND REQUIREMENTS.



NOTES

A. ASPECT RATIO SHALL BE LESS THAN 0.66 ON ALL BRANCH UNIONS. ASPECT RATIO IS THE DIAMETER OF BRANCH (B) DIVIDED BY THE DIAMETER OF THE TRUNK (A) AS MEASURED 1" ABOVE THE TOP OF THE BRANCH UNION.

B. ANY TREE NOT MEETING THESE REQUIREMENTS MAY BE REJECTED, EXCEPTING THOSE NOTED AS "MULTI-TRUNKED"

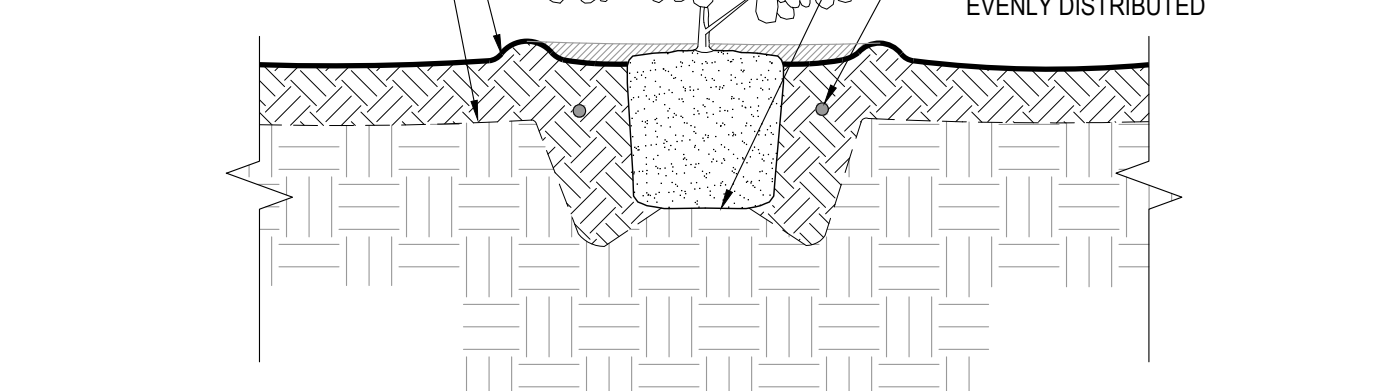
3 | TREE BRANCHING STRUCTURE

NO SCALE AS NOTED

NOTES

- A. MULCH MIN. 3" DEPTH, KEEP 6" FROM TRUNK.
- B. PLANTING PIT DIAMETER MIN. 2X DIAMETER OF CONTAINER.
- C. FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW-RELEASE, QUANTITY AS FOLLOWS:

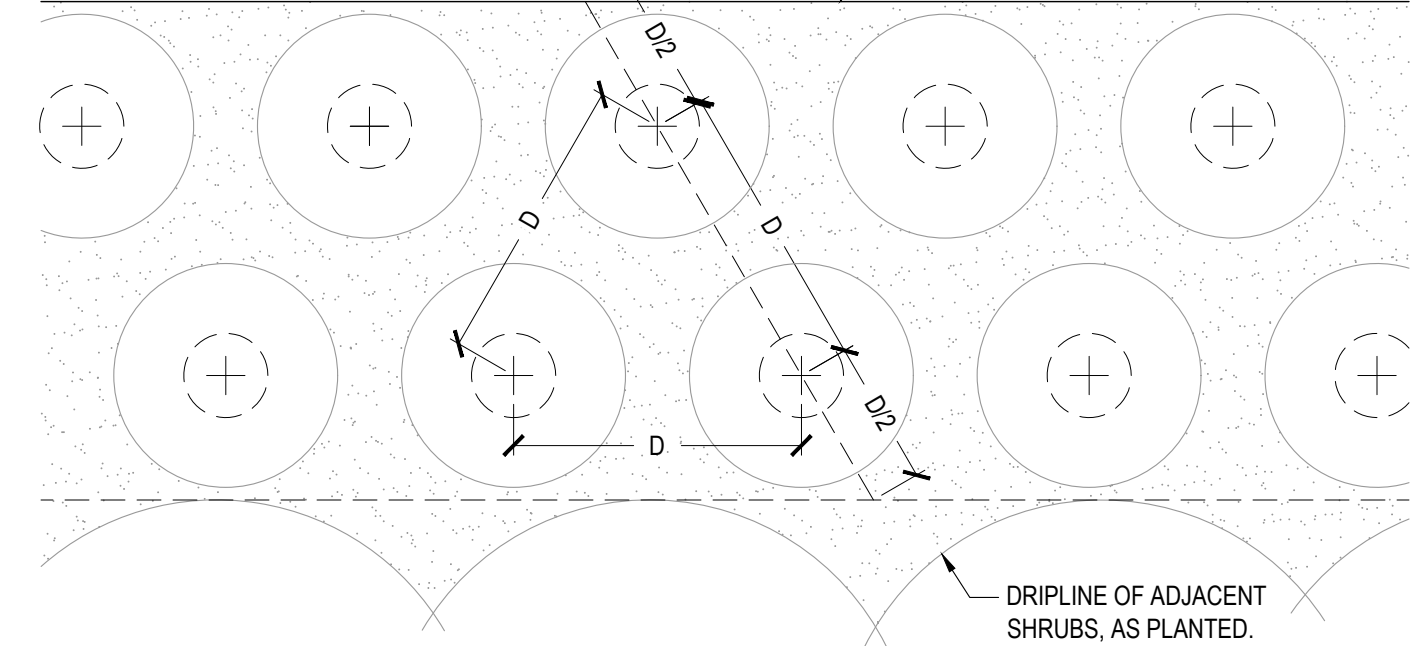
1 GALLON:	1 TABLET
2 GALLON:	2 TABLETS
5 GALLON:	3 TABLETS
15 GALLON:	6 TABLETS



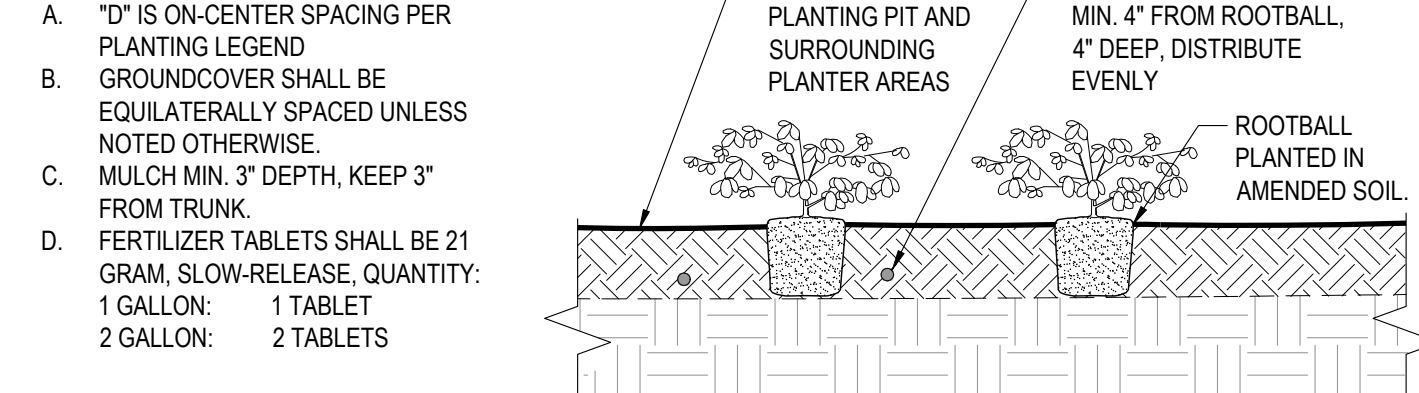
5 | SHRUB PLANTING

NO SCALE SECTION

PLAN



SECTION



6 | GROUNDCOVER PLANTING

NO SCALE SECTION

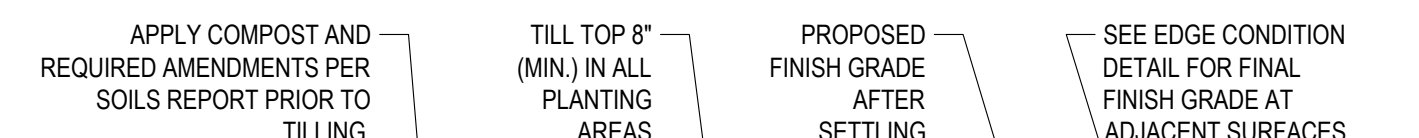
NOTES

A. "D" IS ON-CENTER SPACING PER PLANTING LEGEND

B. GROUNDCOVER SHALL BE EQUILATERALLY SPACED UNLESS NOTED OTHERWISE

C. MULCH MIN. 3" DEPTH, KEEP 3" FROM TRUNK.

D. FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW-RELEASE, QUANTITY: 1 GALLON: 1 TABLET 2 GALLON: 2 TABLETS



NOTES

A. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

COMPACTION SHALL NOT EXCEED 85% R.D. IN PLANTING AREAS. COMPACTION IN EXCESS OF 85% SHALL REQUIRE REMEDIATION BY FRACTURING WITH A BACKHOE OR OTHER MEANS AS DETERMINED BY THE LANDSCAPE ARCHITECT.

7 | PLANTING AREA SOIL PREPARATION

NO SCALE SECTION