



CITY OF MANTECA

COMMUNITY DEVELOPMENT
DEPARTMENT

October 23, 2019

Charlie Halford
Manteca Rotary Foundation
P.O. Box 1009
Manteca Ca 95336

SUBJECT: TEMPORARY USE PERMIT 19-139: MANTECA DOWNTOWN SANTA'S HOUSE

Dear Applicant:

The City of Manteca Planning Division has reviewed your Temporary Use Permit application for Santa's House. Your project application has been approved with the following conditions:

Planning Division

1. The Temporary Use Permit is only valid for the following dates: December 7, 2019 through December 24, 2019.
2. All structures will be located outside of the Clear Visibility Triangle, which is defined as follows:
 - a. The cross-visibility area shall be a triangle having two sides 20 feet long and running along each curb line, said length beginning at their intersection, and the third side formed by a line connecting the two ends. The required clear cross-visibility area shall be unobstructed by any structure or landscape between 30 inches and 7 feet above the surface of the public sidewalk at any corner formed by the intersecting streets.
3. All related debris shall be removed from the site upon termination of the use.
4. Emergency vehicle access shall be maintained at all times.
5. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
6. Fees: Developer shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

Building Safety Division

7. Applicant shall provide at least one accessible route within the site from accessible parking spaces and accessible passenger loading zone; public streets and sidewalks; and public transportation stops to the accessible building office or facility entrance they serve. Where more than one route is provided, all routes must be accessible. CBC Section IIB-206.2.1. The accessible path of travel shall be provided from the sales office to each of the proposed model homes.
8. Applicant shall provide accessible parking spaces complying with Section IIB-502 and in accordance with Table IIB-208.2. CBC Sections IIB-208.2 and IIB-208.2.4.

9. Applicant shall provide that all entrances and exterior ground-floor exits to buildings and facilities shall be accessible and shall comply with Section IIB-404. CBC Section IIB-206.4.1.
10. Developer shall provide an accessible restroom shall be provided in accordance with CBC Chapter 11B and shall be on an accessible path of travel.

Fire Division

11. The use of natural gas/propane heaters is prohibited.

If you have questions or need supplemental information regarding this letter, you can reach Development Services Technician Toben Barnum at (209) 456-8517 or tbarnum@ci.manteca.ca.us.

Sincerely,

A handwritten signature in blue ink, appearing to read "Greg Showerman", with a long horizontal flourish extending to the right.

Greg Showerman
Community Development Director



CITY OF MANTECA Community Development Department Project Referral/Routing

City Departments

- | | |
|--|---|
| <input checked="" type="checkbox"/> Engineering – Maribel Serrano | <input checked="" type="checkbox"/> Police Department - Scott Cunningham |
| <input checked="" type="checkbox"/> Building Department - Lumen Arceo | <input checked="" type="checkbox"/> Public Works – Koosun Kim |
| <input checked="" type="checkbox"/> Parks and Recreation -Michael Rosales | <input type="checkbox"/> City Attorney – John Brinton |
| <input checked="" type="checkbox"/> Fire Department -Lantz Rey | <input type="checkbox"/> Park and Recreation: Landscaping - Katie Reed |

Outside Agencies

- | | |
|---|---|
| <input type="checkbox"/> South San Joaquin Irrigation District (SSJID) | <input type="checkbox"/> City of Ripon |
| <input type="checkbox"/> San Joaquin County Multi-Species
Habitat Conservation | <input type="checkbox"/> City of Lathrop |
| <input type="checkbox"/> San Joaquin Council of Governments (SJCOG) | <input type="checkbox"/> Union Pacific Railroad |
| <input type="checkbox"/> San Joaquin County Environmental Health | <input type="checkbox"/> ALUC-Airport Land Use Commission |
| <input type="checkbox"/> San Joaquin County Public Works | <input type="checkbox"/> CA Dept. of Fish and Game |
| <input type="checkbox"/> San Joaquin County Community
Development Department | <input type="checkbox"/> CA Dept. of Conservation |
| <input type="checkbox"/> San Joaquin County LAFCo | <input type="checkbox"/> Dept. of Water Resources Control Board,
Water Quality |
| <input type="checkbox"/> Caltrans District 10 | <input type="checkbox"/> Native American Heritage Commission |
| <input type="checkbox"/> San Joaquin Valley Air Pollution Control
District | <input type="checkbox"/> U.S. Dept. of Fish and Wildlife Services |
| <input type="checkbox"/> San Joaquin Delta College,
Office of the President | <input type="checkbox"/> U.S. Army Corp. of Engineers |
| <input type="checkbox"/> Manteca Unified School District | <input type="checkbox"/> Federal Emergency Management Agency (FEMA) |
| <input type="checkbox"/> Ripon Unified School District | <input type="checkbox"/> U.S. Post Office |
| <input type="checkbox"/> Lathrop-Manteca Fire District | <input type="checkbox"/> Comcast Cable |
| <input type="checkbox"/> Ripon Consolidated Fire District | <input type="checkbox"/> Verizon |
| | <input type="checkbox"/> Pacific Gas and Electric |
| | <input type="checkbox"/> San Joaquin Bike Coalition |

Referral/Route Date: October 10, 2019

From: Toben Barnum, Development Services Technician (209) 456-8517, tbarnum@ci.manteca.ca.us

Project Description: Temporary Use Permit for Santa's House in the parking lot adjacent to Bedquarters (103 W. Yosemite Ave).

Project Location: 103 W. Yosemite Ave.

The Planning Division would appreciate your comments/conditions at the earliest possible date, but **no later than October 24, 2019**. Please submit your comments on a separate memo, or on the form provided on the back of this page. If possible, please email your comments to tbarnum@ci.manteca.ca.us in addition to submitting a hard copy. Contact **Toben Barnum** at (209) 456-8517 if you have any questions.



TEMPORARY USE PERMIT APPLICATION

CITY OF MANTECA, COMMUNITY DEVELOPMENT DEPARTMENT
1001 W. CENTER ST., MANTECA, CA 95337, (209)456-8500
planning@ci.manteca.ca.us

Applicant Info	Property Owner Info
Name: <u>Manteca Rotary Foundation</u>	Name: <u>Bedquarters Inc.</u>
Address: <u>PO Box 1009</u>	Address: <u>115 W. Yosemite Ave</u>
City/State/Zip: <u>Manteca CA 95336</u>	City/State/Zip: <u>Manteca CA 95336</u>
Home Telephone: <u>NA</u>	Home Telephone: <u>209-823-3463</u>
Mobile No.: <u>209-456-7300</u>	Mobile No.: _____
E-mail Address: <u>chalford1019@comcast.net</u>	E-mail Address: _____
Fax No.: <u>na</u>	Fax No.: _____

Event Info
Business Name: <u>Manteca Downtown Santa, Manteca Rotary Foundation</u>
Event Hours: Days: <u>12/07/2019 thru 12/24/2019</u> Hours: <u>12:00 AM to 8:00 PM</u>
Event Location: <u>Parking Lot at Northwest corner Main St. and Yosemite Ave. 115 W. Yosemite Ave, Manteca, CA</u>
Description of Event/ Activities: <u>Manteca Rotary Foundation is providing the Downtown Santa, placing the mobile santa house in the parking lot. The Santa house will be open for families each afternoon and early evening.</u>

Statement of Ownership or Authorization of Agent (Check one item)

I, the undersigned, am (one of) the legal owner(s) of the land specified in this application.

I, do hereby authorized and empower Charles Halford/Jeff Liotard (agent) to act on my behalf on all matters relating to this application.

	Bedquarters Inc	10/3/19
Property Owner Signature	Print Name	Date
115 W. Yosemite Ave	Manteca, CA 95336	209-823-3463
Address	City, State, Zip	Telephone

In making this application, the undersigned agrees that the above information is true and that all conditions will be met.

	Charles Halford	10-9-19
Applicant Signature	Print Name	Date

OFFICE USE ONLY		
Fee: \$568	Receipt No.: <u>WAIVER</u>	Date Received: <u>10/9/19</u>
+ \$250 Cleaning Deposit Required. (Christmas tree Lots Only *Send copy of Approved TUP to Superintendent at Solid Waste)		
Approved: <u>X</u>	Denied: _____	
Planner Signature:	Date	<u>10/23/19</u>
Assessor's Parcel No. (APN): <u>217-210-47</u>	Application Number: <u>19-139</u>	

Conditions of the Temporary Use Permit

(Please initial all boxes agreeing to comply with all applicable conditions.)

- This Temporary Use Permit is only valid for the dates and times listed on this application.
- Proper building permits shall be obtained for all electrical and structural work through the City of Manteca Building Safety Division at (209) 456-8550.
- All related debris shall be removed from the site upon termination of the use.
- Applicant will provide traffic controls and parking as required by the Public Works Department and the Police Department prior to the event.
- Appropriate permits shall be secured from the San Joaquin County Health Department.
- Emergency vehicle access shall be maintained at all times.
- The placement of merchandise, signs and accessory vehicles/equipment shall not impede traffic circulation of the parking lot or create traffic conditions on _____.
- Proposed activity shall not interfere with existing accessibility features (e.g. accessible parking spaces).
- Applicant shall provide an accessible path of travel from the proposed event site to the public street, accessible parking space and to the accessible restroom facility, if applicable. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. CBC Section 1114B.1.2. Clearly show accessible path of travel on the site plan.
- If parking will be provided, applicant shall provide an accessible parking space.
- If restroom facilities will be provided, applicant shall provide an accessible restroom.
- All gates shall meet all applicable specifications for doors, and shall comply with the following:
- Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.
 - Effort to operate door/gate is 5 pounds max pressure.
 - Latching and locking doors/gates that are hand operated and which are in a path of travel are operable by lever type, panic bars, and push-pull activating bars.
 - Opening hardware is centered between 30" to 44" above finish floor.
 - There shall be a floor or landing on each side of a door/gate, and must be level and clear. Level area in the direction of the door swing is a minimum of 60".
- Applicant shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.
- Applicant shall be responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
- Appropriate direction signs, barricades or fences shall be provided as necessary.
- Applicant shall obtain a valid City business license.
- A water permit and hydrant meter shall be obtained from the Public Works Department. (209) 456-8585
- An acceptable path of egress to the public right-of-way shall be maintained at all time.
- Lessor shall not be responsible or liable for any loss or injury, or damage occurring to Lessee or to the property of Lessee or to third persons, or the property of third persons, in, about, or on said leased premises, no matter how occurring and Lessee will save Lessor harmless for or on account of any loss, injury or damage to any person or persons or their property occurring therein, or resulting from Lessee's operation thereof. Prior to the use of Property, Lessee shall obtain and maintain in force at its sole cost and expense, the following insurance coverage—Comprehensive General and Automobile Liability Insurance (covering use of owned, non-owned, or hired vehicles) with limits of \$1,000,000 per occurrence, Property Damage—\$300,000 per occurrence. Such insurance shall contain provisions insuring the City of Manteca, elected officials, employees, agents, and volunteers as insureds. Such insurance shall be primary to any liability insurance carried by the Lessor. Pursuant to California Government Code Section 818.4, a public entity is not liable for an injury caused by the issuance, denial, suspension or revocation of, or by the failure of refusal to issue, deny, suspend or revoke, any permit, license, certificate, approval, order, or similar authorization where the public entity or an employee of the public entity is authorized by enactment to determine whether or not such authorization should be issued, denied, suspended or revoked.

City of Manteca
1001 W. Center Street
Manteca, CA 95336

Letter of Intent

To whom it may concern:

Manteca Rotary Foundation received permission from Bedquarters Inc., located at 115 W. Yosemite Ave, Manteca to use their parking lot located at the northwest corner of Yosemite Avenue and North Main Street, to operate Santa's House during the Christmas Season. The house and ramp will be placed there after November 15, 2019 and will be removed by January 6, 2020. The Santa House and ramp are set up early for city and fire inspection. The Santa House begins operation after the Manteca Christmas Parade on December 7th.

If you have any questions, please contact me at 209-456-7300.

Charlie Halford
Manteca Rotary Foundation



Bedquarters



115 W Yosemite Ave

Google Earth

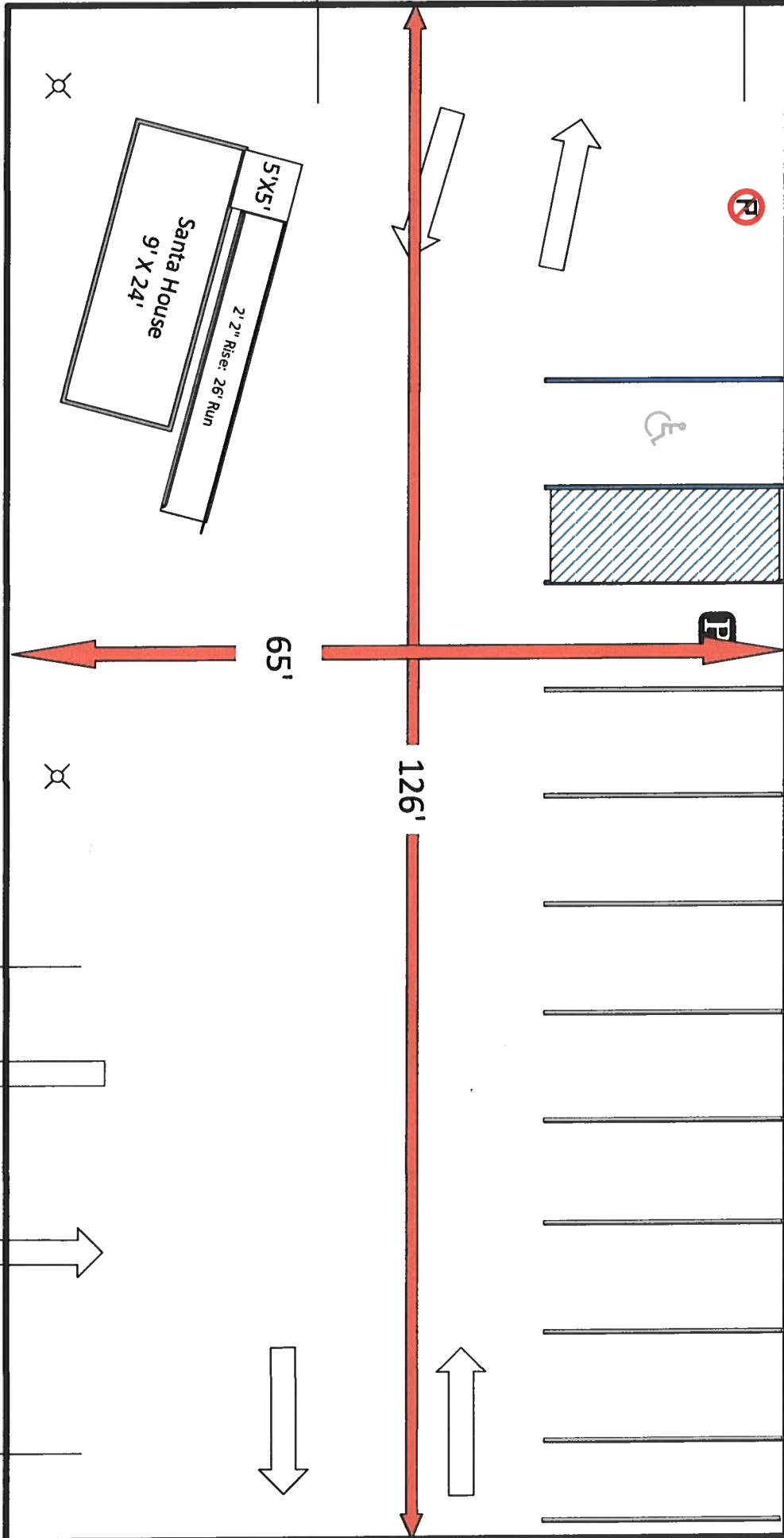
© 2018 Google

© 2018 Europa Technologies

50 ft



Yosemite Ave



Main Street

BedQuarters

Alley



PROJECT REFERRAL/ROUTING SHEET

DATE: 10/21/2019

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: CDD-Engineering
(Department or Agency)

Contact Person: Maribel Serrano Phone: (209) 456-8544

Project Title: Temporary Use Permit 19-139 Manteca Downtown Santa's House

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 10/23/19

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: BUILDING SAFETY
(Department or Agency)

Contact Person: Brian Phone: 8562

Project Title: Temporary Use Permit 19-139 Manteca Downtown Santa's House

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Memo

To: Toben Barnum, Development Services Technician
From: Brad Wungluck, Chief Building Official
Date: October 23, 2019
Re: TUP_19-139 Santa's Hut

1. Applicant shall provide at least one accessible route within the site from accessible parking spaces and accessible passenger loading zone; public streets and sidewalks; and public transportation stops to the accessible building office or facility entrance they serve. Where more than one route is provided, all routes must be accessible. CBC Section IIB-206.2.1. The accessible path of travel shall be provided from the sales office to each of the proposed model homes.
2. Applicant shall provide accessible parking spaces complying with Section IIB-502 and in accordance with Table IIB-208.2. CBC Sections IIB-208.2 and IIB-208.2.4.
3. Applicant shall provide that all entrances and exterior ground-floor exits to buildings and facilities shall be accessible and shall comply with Section IIB-404. CBC Section IIB-206.4.1.
4. Developer shall provide an accessible restroom shall be provided in accordance with CBC Chapter 11B and shall be on an accessible path of travel.



PROJECT REFERRAL/ROUTING SHEET

DATE: October 15, 2019

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: Parks and Recreation Department
(Department or Agency)

Contact Person: Michael Rosales Phone: (209) 456-8615

Project Title: Temporary Use Permit 19-139 Manteca Downtown Santa's House

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 10/21/19

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: FIZE
(Department or Agency)

Contact Person: LiRey Phone: x 8347

Project Title: Temporary Use Permit 19-139 Manteca Downtown Santa's House

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Rey, Lantz

From: Rey, Lantz
Sent: Monday, October 21, 2019 3:01 PM
To: Barnum, Toben
Subject: TUP 19-139

Fire has reviewed and has one comment.

1. Use of propane heaters is prohibited.

Lantz Rey
Administrative Chief Officer/Fire Marshal, MPA
City of Manteca | Fire Department
1154 S. Union Rd | Manteca CA 95337
Office: 209.456.8347 | Fax: 209.923.8936
www.mantecagov.com



PROJECT REFERRAL/ROUTING SHEET

DATE: 10/15/19

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

RECEIVED

OCT 15 2019

COMMUNITY DEVELOPMENT
DEPARTMENT

FROM: P.D.
(Department or Agency)

Contact Person: S. Cunningham Phone: 8281

Project Title: Temporary Use Permit 19-139 Manteca Downtown Santa's House

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Barnum, Toben

From: Kim, Koosun
Sent: Wednesday, October 16, 2019 1:38 PM
To: Barnum, Toben
Subject: Task Completed: TUP 19-139 Manteca Downtown Santa House

Thank you,



Koosun Kim, PE, QSD
Deputy Director of Public Works - Engineering
City of Manteca | Public Works
1001 W. Center St. | Manteca, CA 95337
Office: 209.456-8419 | Fax: 209.923.8940
www.mantecagov.com

-----Original Task-----

Subject: TUP 19-139 Manteca Downtown Santa House
Priority: Normal

Start date: Thu 10/10/2019
Due date: Thu 10/24/2019

Status: Completed
% Complete: 100%
Date completed: Wed 10/16/2019
Actual work: 0 hours

Requested by: Barnum, Toben

No comment. I support the Santa House! 😊



TUP Routing
Sheet 19-139 Sa...

Hardcopy to follow interoffice. Thank you.



Toben Barnum, Development Services Technician
City of Manteca | Community Development Department
1001 W. Center St. | Manteca, CA 95337