



CITY OF MANTECA

COMMUNITY DEVELOPMENT
DEPARTMENT

October 21, 2019

Meritage Homes
ATTN: Rob Wilson
840 Stillwater Rd., Suite 200A
West Sacramento, CA 95605

SUBJECT: MERITAGE HOMES SALES OFFICE AND MODEL COMPLEX TUP-19-135

Dear Applicant:

The City of Manteca Planning Division has reviewed your Temporary Use Permit application for a temporary construction trailer. Your project application has been approved with the following conditions:

Planning Division

1. The Temporary Use Permit is only valid for the following dates: October 21, 2019 until the final home is sold for the Meritage Homes Terra Ranch Development.
2. All related debris shall be removed from the site upon termination of the use.
3. Emergency vehicle access shall be maintained at all times.
4. Proper building permits shall be obtained for all structures (sales office, model homes and parking lot) through the City of Manteca Building Safety Division at (209) 456-8550.
 - a. Developers shall obtain a Tenant improvement permit for the sales office through the City of Manteca Building Safety Division.
5. A demolition permit must be obtained through the City of Manteca Building Safety Division for the temporary sales office once the final home in the subdivision by Trumark Homes Development has been sold.
6. The parking lot for the model home complex shall be removed when the model homes are sold.
7. All on site landscape shall be maintained by property owner.
8. Developer shall obtain permits to meet the requirements of Model Water Efficiency Landscaping Ordinance.
9. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.

10. Utility Companies: The applicant is responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
11. Fees: Developer shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

Building Safety Division

12. Developer shall provide at least one accessible route within the site from accessible parking spaces and accessible passenger loading zone; public streets and sidewalks; and public transportation stops to the accessible building sales office or facility entrance they serve. Where more than one route is provided, all routes must be accessible. CBC §11B-206.2.1.
 - The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48)
13. Developer shall provide accessible parking spaces complying with CBC §11B-502 and in accordance with Table 11B-208.2. CBC §11B-208.2 and §11B-208.2.4.
14. Developer shall provide that all entrances and exterior ground-floor exits to the sales office building shall be accessible and shall comply with CBC §11B-404. CBC §11B-206.4.1.
15. Developer shall provide an accessible restroom on an accessible path of travel in accordance with CBC Chapter 11B. Clarify the location on the site plan.
16. Developer shall obtain building permits for the parking area, sales office, restroom facility, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC §105.
17. Amend Details G, H and I. See attached stair requirements, tow-away vehicle signage and handrail extensions details.
18. Developer shall comply with all requirements of the Model Water Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.

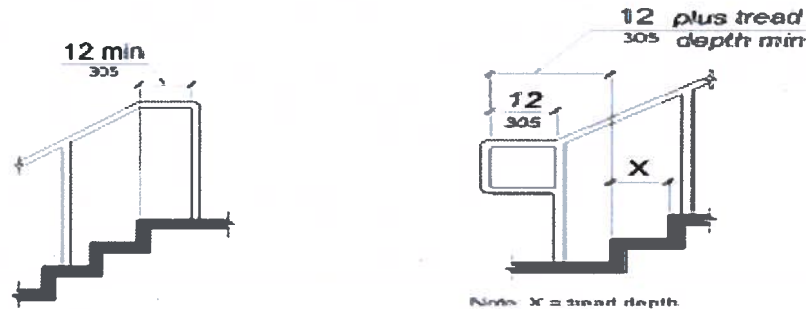
STAIRWAY

19. Stair riser heights shall be **7 inches maximum** and 4 inches minimum. The riser height shall be measured vertically between the nosings of adjacent treads. Rectangular tread depths shall be **11 inches minimum** measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's nosing.
 - Please clearly specify the 11" minimum and 7" maximum on Sheet A500.

HANDRAIL EXTENSIONS: (See Detail G/L-3.0)

20. At the top of a stair flight, handrails shall extend horizontally above the landing for 12 inches minimum beginning directly above the first riser nosing. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight. See Sheet A560.

21. At the bottom of a stair flight, handrails shall extend at the slope of the stair flight for a horizontal distance equal to one tread depth beyond the last riser nosing. The horizontal extension of a handrail shall be 12 inches long minimum and a height equal to that of the sloping portion of the handrail as measured above the stair nosings. Extension shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight. See Sheet A560.



ADDITIONAL SIGN – TOWED-AWAY

22. The additional sign shall clearly state in letters with a minimum height of 1 inch the following:

“Unauthorized” vehicles parked in designated accessible spaces not displaying distinguishing placards or special license plates issued for persons with disabilities will be towed away at the owner’s expense. Towed vehicles may be reclaimed at: **City of Manteca Police Department** or by telephoning **(209) 456-8101**.” Blank spaces shall be filled in with appropriate information as a permanent part of the sign. See Detail H/L-3.0

If you have questions or if you need supplemental information regarding this letter, please contact Development Services Technician Toben Barnum at (209) 456-8517 or tbarnum@ci.manteca.ca.us.

Sincerely,

Greg Showerman
Community Development Director



CITY OF MANTECA Community Development Department Project Referral/Routing

City Departments

- | | |
|----------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Engineering – Maribel Serrano | <input checked="" type="checkbox"/> Police Department - Scott Cunningham |
| <input checked="" type="checkbox"/> Building Department - Lumen Arceo | <input checked="" type="checkbox"/> Public Works – Koosun Kim |
| <input checked="" type="checkbox"/> Parks and Recreation -Michael Rosales | <input type="checkbox"/> City Attorney – John Brinton |
| <input checked="" type="checkbox"/> Fire Department -Lantz Rey | <input type="checkbox"/> Park and Recreation: Landscaping - Katie Reed |

Outside Agencies

- | | |
|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input type="checkbox"/> South San Joaquin Irrigation District (SSJID) | <input type="checkbox"/> City of Ripon |
| <input type="checkbox"/> San Joaquin County Multi-Species
Habitat Conservation | <input type="checkbox"/> City of Lathrop |
| <input type="checkbox"/> San Joaquin Council of Governments (SJCOG) | <input type="checkbox"/> Union Pacific Railroad |
| <input type="checkbox"/> San Joaquin County Environmental Health | <input type="checkbox"/> ALUC-Airport Land Use Commission |
| <input type="checkbox"/> San Joaquin County Public Works | <input type="checkbox"/> CA Dept. of Fish and Game |
| <input type="checkbox"/> San Joaquin County Community
Development Department | <input type="checkbox"/> CA Dept. of Conservation |
| <input type="checkbox"/> San Joaquin County LAFCo | <input type="checkbox"/> Dept. of Water Resources Control Board,
Water Quality |
| <input type="checkbox"/> Caltrans District 10 | <input type="checkbox"/> Native American Heritage Commission |
| <input type="checkbox"/> San Joaquin Valley Air Pollution Control
District | <input type="checkbox"/> U.S. Dept. of Fish and Wildlife Services |
| <input type="checkbox"/> San Joaquin Delta College,
Office of the President | <input type="checkbox"/> U.S. Army Corp. of Engineers |
| <input type="checkbox"/> Manteca Unified School District | <input type="checkbox"/> Federal Emergency Management Agency (FEMA) |
| <input type="checkbox"/> Ripon Unified School District | <input type="checkbox"/> U.S. Post Office |
| <input type="checkbox"/> Lathrop-Manteca Fire District | <input type="checkbox"/> Comcast Cable |
| <input type="checkbox"/> Ripon Consolidated Fire District | <input type="checkbox"/> Verizon |
| | <input type="checkbox"/> Pacific Gas and Electric |
| | <input type="checkbox"/> San Joaquin Bike Coalition |

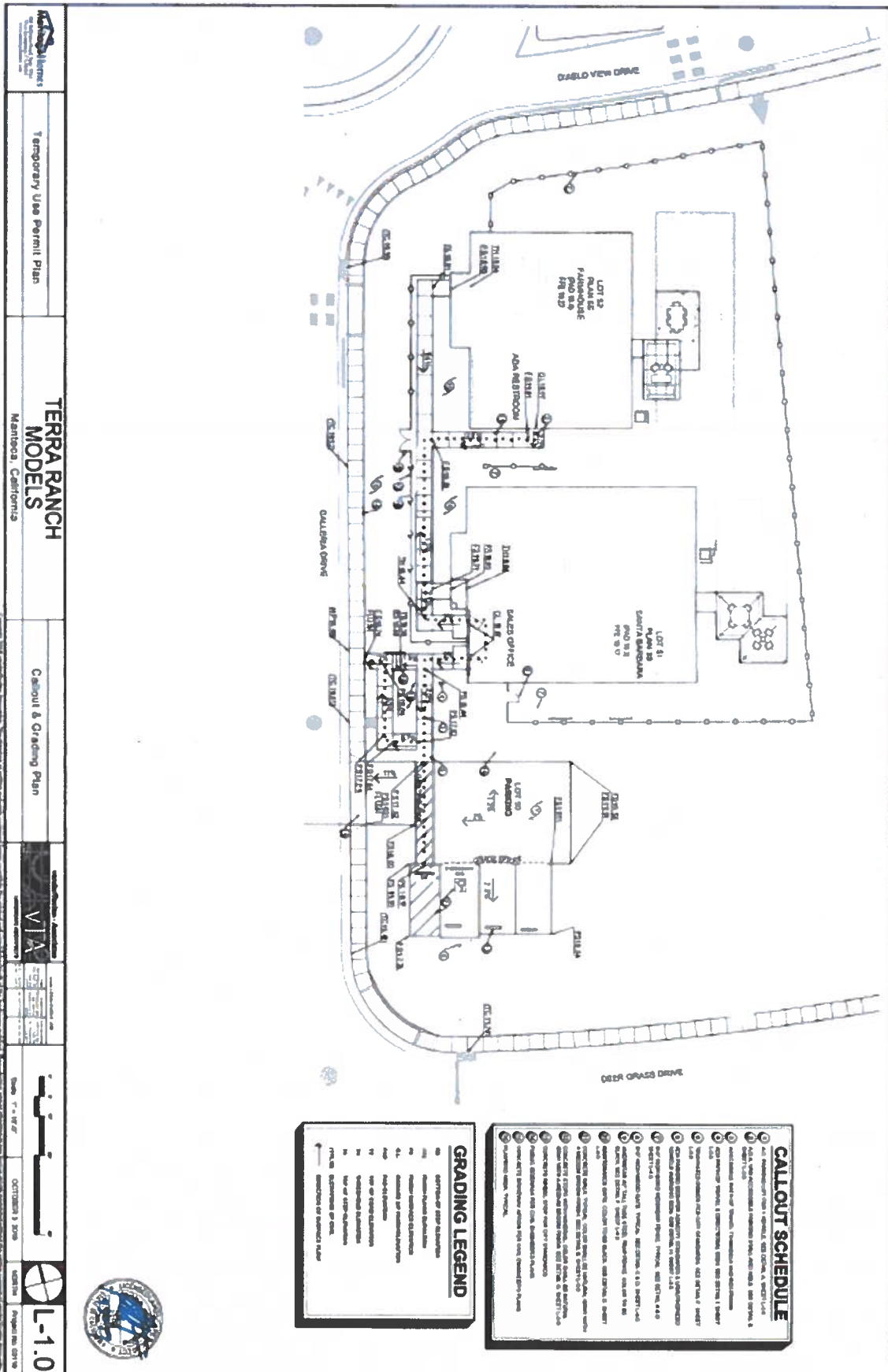
Referral/Route Date: October 7, 2019

From: Toben Barnum, Development Services Technician (209) 456-8517, tbarnum@ci.manteca.ca.us

Project Description: TUP for a Sales Office and Model Home Complex

Project Location: Terra Ranch Unit 3; 2016, 2038 and 2050 Galleria Dr.

The Planning Division would appreciate your comments/conditions at the earliest possible date, but **no later than October 21, 2019**. Please submit your comments on a separate memo, or on the form provided on the back of this page. If possible, please email your comments to tbarnum@ci.manteca.ca.us in addition to submitting a hard copy. Contact **Toben Barnum** at **(209) 456-8517** if you have any questions.



CALLOUT SCHEDULE

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CIVIL CODE, SECTION 9100, AND THE CALIFORNIA CIVIL CODE, SECTION 9102.
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GRADING LEGEND

1. EXISTING GRADE
2. PROPOSED GRADE
3. PROPOSED GRADE WITH 1% SLOPE
4. PROPOSED GRADE WITH 2% SLOPE
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102. PROPOSED GRADE WITH 100% SLOPE

Temporary Use Permit Plan
TERRA RANCH MODELS
 Meritage, California
 Callout & Grading Plan

 Scale: 1" = 80'
 OCTOBER 3, 2019
 Project No. 2019-0





CITY OF MANTECA, COMMUNITY DEVELOPMENT
 1001 W. Center Street, Manteca, CA 95337
 Main Line: (209) 456-8500: Fax: (209) 923-8949
 Email: planning@ci.manteca.ca.us Website: www.ci.manteca.ca.us

RECEIVED

OCT 04 2019

**COMMUNITY DEVELOPMENT
 DEPARTMENT**

Application Date: 10/3/19

Application Number: 19-135

Applicant's Name	Business Name	
Rob Wilson	Meritage Homes	
Applicant's Address	City, State, Zip	Telephone
840 Stillwater Road, Suite 200A	West Sacramento, CA 95605	916-840-3573
Location of Activity:	Date & Time of Activity	
2038 Galleria Drive	FROM: 1/20 10:00 am - 6:00 pm TO: 12/21	
Description of Activity:		
Model Complex Sales Office		

Property Owner's Name	Meritage Homes	
Property Owner's Address	City, State, Zip	Telephone
860 Stillwater Road, Suite 200A	West Sacramento, CA 95605	916-840-3573

Statement of Ownership or Authorization of Agent

(check one item)

I, the undersigned, am (one of) the legal owner(s) of the land specified in this application.

I, do hereby authorized and empower Rob Wilson (agent) to act on my behalf on all matters relating to this application.

<u>Bruce Grant</u> Signature	<u>10/3/19</u> Date
840 Stillwater Road, Suite 200A	West Sacramento, CA 95605
Address	City, State, Zip
	Telephone
	916-840-3573

In making this application, the undersigned agrees that the above information is true and that all conditions will be met.

Applicant's Signature Rob Wilson Meritage Homes Date 10/3/19

****For Office Use Only****

\$250 Cleaning Deposit Required
 (Christmas Tree Lots Only)

Receipt No: 2020-75422 Date Received: 10/4/19

Approved By: _____

Date: _____

Conditions of the Temporary Use Permit

(Please initial all boxes agreeing to comply with all applicable conditions.)

This Temporary Use Permit is only valid for the dates and times listed on this application.
Proper building permits shall be obtained for all electrical and structural work through the City of Manteca Building Safety Division at (209) 456-8550.

All related debris shall be removed from the site upon termination of the use.

Applicant will provide traffic controls and parking as required by the Public Works Department and the Police Department prior to the event.

Appropriate permits shall be secured from the San Joaquin County Health Department.

Emergency vehicle access shall be maintained at all times.

The placement of merchandise, signs and accessory vehicles/equipment shall not impede traffic circulation of the parking lot or create traffic conditions on _____

Proposed activity shall not interfere with existing accessibility features (e.g. accessible parking spaces).

Applicant shall provide an accessible path of travel from the proposed event site to the public street, accessible parking space and to the accessible restroom facility, if applicable. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. CBC Section 1114B.1.2. Clearly show accessible path of travel on the site plan.

If parking will be provided, applicant shall provide an accessible parking space.

If restroom facilities will be provided, applicant shall provide an accessible restroom.

All gates shall meet all applicable specifications for doors, and shall comply with the following:

-Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.

-Effort to operate door/gate is 5 pounds max pressure.

-Latching and locking doors/gates that are hand operated and which are in a path of travel are operable by lever type, panic bars, and push-pull activating bars.

-Opening hardware is centered between 30" to 44" above finish floor.

-There shall be a floor or landing on each side of a door/gate, and must be level and clear. Level area in the direction of the door swing is a minimum of 60".

Applicant shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

Applicant shall be responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.

Appropriate direction signs, barricades or fences shall be provided as necessary.

Applicant shall obtain a valid City business license.

A water permit and hydrant meter shall be obtained from the Public Works Department. (209) 456-8585

An acceptable path of egress to the public right-of-way shall be maintained at all time.

Lessor shall not be responsible or liable for any loss or injury, or damage occurring to Lessee or to the property of Lessee or to third persons, or the property of third persons, in, about, or on said leased premises, no matter how occurring and Lessee will save Lessor harmless for or on account of any loss, injury or damage to any person or persons or their property occurring therein, or resulting from Lessee's operation thereof. Prior to the use of Property, Lessee shall obtain and maintain in force at its sole cost and expense, the following insurance coverage—Comprehensive General and Automobile Liability Insurance (covering use of owned, non-owned, or hired vehicles) with limits of \$1,000,000 per occurrence, Property Damage--\$300,000 per occurrence. Such insurance shall contain provisions insuring the City of Manteca, elected officials, employees, agents, and volunteers as insureds. Such insurance shall be primary to any liability insurance carried by the Lessor. Pursuant to California Government Code Section 818.4, a public entity is not liable for an injury caused by the issuance, denial, suspension or revocation of, or by the failure of refusal to issue, deny, suspend or revoke, any permit, license, certificate, approval, order, or similar authorization where the public entity or an employee of the public entity is authorized by enactment to determine whether or not such authorization should be issued, denied, suspended or revoked.

Other: _____

Other: _____

Other: _____

Other: _____



PROJECT REFERRAL/ROUTING SHEET

DATE: 10/21/2019

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: cpd - engineering
(Department or Agency)

Contact Person: Maribel serrano Phone: (209) 456-8504

Project Title: Temporary Use Permit 19-135 Meritage Homes Sales Office and Model Complex

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 10/8/19

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: Bldg. Safety
(Department or Agency)

Contact Person: Lumen A Phone: 285620

Project Title: Temporary Use Permit 19-135 Meritage Homes Sales Office and Model Complex

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Memo

To: Toben Barnum, Development Services Technician
From: Lumen Arceo, Senior Plan Check Engineer
Date: October 8, 2019
Re: TUP 19--135 Meritage Homes Sales Office & Model Home Complex

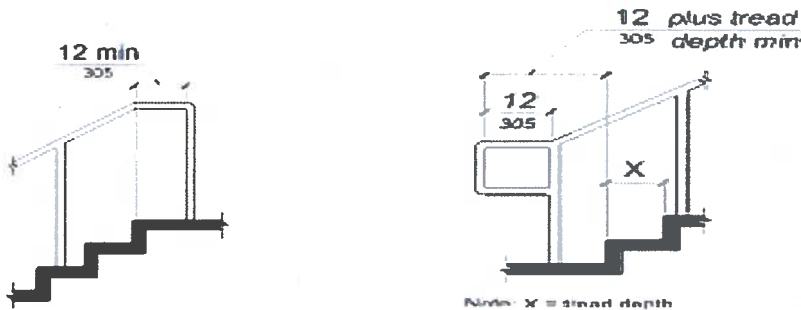
1. Developer shall provide at least one accessible route within the site from accessible parking spaces and accessible passenger loading zone; public streets and sidewalks; and public transportation stops to the accessible building sales office or facility entrance they serve. Where more than one route is provided, all routes must be accessible. CBC §11B-206.2.1.
 - The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48)
2. Developer shall provide accessible parking spaces complying with CBC §11B-502 and in accordance with Table 11B-208.2. CBC §11B-208.2 and §11B-208.2.4.
3. Developer shall provide that all entrances and exterior ground-floor exits to the sales office building shall be accessible and shall comply with CBC §11B-404. CBC §11B-206.4.1.
4. Developer shall provide an accessible restroom shall be provided in accordance with CBC Chapter 11B and shall be on an accessible path of travel. Clarify the location on the site plan.
5. Developer shall obtain building permits for the parking area, sales office, restroom facility, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC §105.
6. Amend Details G, H and I. See attached stair requirements, tow-away vehicle signage and handrail extensions details.
7. Developer shall comply with all requirements of the Model Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.

STAIRWAY

1. Stair riser heights shall be **7 inches maximum** and 4 inches minimum. The riser height shall be measured vertically between the nosings of adjacent treads. Rectangular tread depths shall be **11 inches minimum** measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's nosing.
 - Please clearly specify the 11" minimum and 7" maximum on Sheet A500.

HANDRAIL EXTENSIONS: (See Detail G/L-3.0)

2. At the top of a stair flight, handrails shall extend horizontally above the landing for 12 inches minimum beginning directly above the first riser nosing. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight. See Sheet A560.
3. At the bottom of a stair flight, handrails shall extend at the slope of the stair flight for a horizontal distance equal to one tread depth beyond the last riser nosing. The horizontal extension of a handrail shall be 12 inches long minimum and a height equal to that of the sloping portion of the handrail as measured above the stair nosings. Extension shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight. See Sheet A560.



ADDITIONAL SIGN – TOWED-AWAY

4. The additional sign shall clearly state in letters with a minimum height of 1 inch the following:

“Unauthorized” vehicles parked in designated accessible spaces not displaying distinguishing placards or special license plates issued for persons with disabilities will be towed away at the owner’s expense. Towed vehicles may be reclaimed at: **City of Manteca Police Department** or by telephoning **(209) 456-8101**.”

- Blank spaces shall be filled in with appropriate information as a permanent part of the sign. See Detail H/L-3.0



PROJECT REFERRAL/ROUTING SHEET

DATE: October 15, 2015

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: Parks and Recreation Department
(Department or Agency)

Contact Person: Michael Rosales Phone: (209) 456-8615

Project Title: Temporary Use Permit 19-135 Meritage Homes Sales Office and Model Complex

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

COMMENT:

1. ANY STREET TREES SHALL BE INSTALLED PER APPROVED STREET TREE MAP FOR SUBDIVISION.



PROJECT REFERRAL/ROUTING SHEET

RECEIVED

OCT 15 2019

COMMUNITY DEVELOPMENT
DEPARTMENT

DATE: 10/15/19

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: P.D.
(Department or Agency)

Contact Person: S. Lunningham Phone: 8281

Project Title: Temporary Use Permit 19-135 Meritage Homes Sales Office and Model Complex

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Barnum, Toben

From: Kim, Koosun
Sent: Wednesday, October 16, 2019 1:39 PM
To: Barnum, Toben
Subject: Task Completed: TUP 19-135 Meritage Homes Sales Office and Model Complex

Thank you,

Koosun Kim, PE, QSD

Deputy Director of Public Works - Engineering

City of Manteca | Public Works
1001 W. Center St. | Manteca, CA 95337
Office: 209.456-8419 | Fax: 209.923.8940
www.mantecagov.com



-----Original Task-----

Subject: TUP 19-135 Meritage Homes Sales Office and Model Complex
Priority: Normal

Start date: Mon 10/7/2019
Due date: Mon 10/21/2019

Status: Completed
% Complete: 100%
Date completed: Wed 10/16/2019
Actual work: 0 hours

Requested by: Barnum, Toben

No comment.



Routing sheet -
TUP 19-135 Mer...

Hardcopy to follow interoffice. Thank you.

Regards,



Toben Barnum, Development Services Technician
City of Manteca | Community Development Department