



CITY OF MANTECA

COMMUNITY DEVELOPMENT DEPARTMENT

April 29, 2019

Trumark Construction Services, Inc.
ATTN: Sherry Chuang
3001 Bishop Dr., Suite 100
San Ramon, CA 94583

SUBJECT: TRUMARK MODEL COMPLEX AND SALES OFFICE TUP-19-058

Dear Applicant:

The City of Manteca Planning Division has reviewed your Temporary Use Permit application for a temporary construction trailer. Your project application has been approved with the following conditions:

Planning Division

1. The Temporary Use Permit is only valid for the following dates: April 29, 2019 until the final home is sold for the Trumark Homes Shadowbrook Development.
2. All related debris shall be removed from the site upon termination of the use.
3. Emergency vehicle access shall be maintained at all times.
4. Proper building permits shall be obtained for all structures (sales office and model homes) through the City of Manteca Building Safety Division at (209) 456-8550.
 - a. Developers shall obtain a Tenant improvement for the sales office through the City of Manteca Building Safety Division.
5. A demolition permit must be obtained through the City of Manteca Building Safety Division for the temporary sales office once the final home in the subdivision by Trumark Homes Development has been sold.
6. The parking lot for the model home complex shall be removed when the model homes are sold.
7. All on site landscape shall be maintained by property owner.
8. Developer shall obtain permits to meet the requirements of Model Water Efficiency Landscaping Ordinance.
9. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.

10. Utility Companies: The applicant is responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
11. Fees: Developer shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

Building Safety Division

12. Developer shall provide at least one accessible route within the site from accessible parking spaces and accessible passenger loading zone; public streets and sidewalks; and public transportation stops to the accessible building sales office or facility entrance they serve. Where more than one route is provided, all routes must be accessible. CBC §11B-206.2.1.
 - The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48)
13. Developer shall provide accessible parking spaces complying with CBC §11B-502 and in accordance with Table 11B-208.2. CBC §11B-208.2 and §11B-208.2.4.
14. Developer shall provide that all entrances and exterior ground-floor exits to the sales office building shall be accessible and shall comply with CBC §11B-404. CBC §11B-206.4.1.
15. Developer shall provide an accessible restroom in accordance with CBC Chapter 11B and shall be on an accessible path of travel. Show location on the site plan.
16. Developer shall obtain building permits for the parking area, sales office, restroom facility, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC §105.
17. Developer shall comply with all requirements of the Model Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.

If you have questions or if you need supplemental information regarding this letter, please contact Development Services Technician Toben Barnum at (209) 456-8517 or tbarnum@ci.manteca.ca.us.

Sincerely,



Greg Showerman
Community Development Director



CITY OF MANTECA Community Development Department Project Referral/Routing

City Departments

- | | |
|--|---|
| <input checked="" type="checkbox"/> Engineering – Maribel Serrano | <input checked="" type="checkbox"/> Police Department - Scott Cunningham |
| <input checked="" type="checkbox"/> Building Department - Lumen Arceo | <input checked="" type="checkbox"/> Public Works – Koosun Kim |
| <input checked="" type="checkbox"/> Parks and Recreation -Michael Rosales | <input type="checkbox"/> City Attorney – John Brinton |
| <input checked="" type="checkbox"/> Fire Department -Lantz Rey | <input type="checkbox"/> Park and Recreation: Landscaping - Katie Reed |

Outside Agencies

- | | |
|---|---|
| <input type="checkbox"/> South San Joaquin Irrigation District (SSJID) | <input type="checkbox"/> City of Ripon |
| <input type="checkbox"/> San Joaquin County Multi-Species
Habitat Conservation | <input type="checkbox"/> City of Lathrop |
| <input type="checkbox"/> San Joaquin Council of Governments (SJCOG) | <input type="checkbox"/> Union Pacific Railroad |
| <input type="checkbox"/> San Joaquin County Environmental Health | <input type="checkbox"/> ALUC-Airport Land Use Commission |
| <input type="checkbox"/> San Joaquin County Public Works | <input type="checkbox"/> CA Dept. of Fish and Game |
| <input type="checkbox"/> San Joaquin County Community
Development Department | <input type="checkbox"/> CA Dept. of Conservation |
| <input type="checkbox"/> San Joaquin County LAFCo | <input type="checkbox"/> Dept. of Water Resources Control Board,
Water Quality |
| <input type="checkbox"/> Caltrans District 10 | <input type="checkbox"/> Native American Heritage Commission |
| <input type="checkbox"/> San Joaquin Valley Air Pollution Control
District | <input type="checkbox"/> U.S. Dept. of Fish and Wildlife Services |
| <input type="checkbox"/> San Joaquin Delta College,
Office of the President | <input type="checkbox"/> U.S. Army Corp. of Engineers |
| <input type="checkbox"/> Manteca Unified School District | <input type="checkbox"/> Federal Emergency Management Agency (FEMA) |
| <input type="checkbox"/> Ripon Unified School District | <input type="checkbox"/> U.S. Post Office |
| <input type="checkbox"/> Lathrop-Manteca Fire District | <input type="checkbox"/> Comcast Cable |
| <input type="checkbox"/> Ripon Consolidated Fire District | <input type="checkbox"/> Verizon |
| | <input type="checkbox"/> Pacific Gas and Electric |
| | <input type="checkbox"/> San Joaquin Bike Coalition |

Referral/Route Date: April 15, 2019

From: Toben Barnum, Development Services Technician (209) 456-8517, tbarnum@ci.manteca.ca.us

Project Description: TUP for a Sales Office and Model Home Complex

Project Location: Shadowbrook subdivision, 1315 Parkcrest (Lot 141) and 1309 Parkcrest (Lot 142)

The Planning Division would appreciate your comments/conditions at the earliest possible date, but **no later than April 29, 2019**. Please submit your comments on a separate memo, or on the form provided on the back of this page. If possible, please email your comments to tbarnum@ci.manteca.ca.us in addition to submitting a hard copy. Contact **Toben Barnum** at (209) 456-8517 if you have any questions.



TEMPORARY USE PERMIT APPLICATION

CITY OF MANTECA, COMMUNITY DEVELOPMENT DEPARTMENT
1001 W. CENTER ST., MANTECA, CA 95337, (209)456-8500
planning@ci.manteca.ca.us

Applicant Info	Property Owner Info
Name: <u>TRUMARK CONSTRUCTION SERVICES, INC.</u>	Name: <u>TH CENTRE INVESTORS LLC</u>
Address: <u>3001 BISHOP DR. #100</u>	Address: <u>3001 BISHOP DR. #100</u>
City/State/Zip: <u>SAN RAMON, CA. 94583</u>	City/State/Zip: <u>SAN RAMON, CA. 94583</u>
Home Telephone: <u>(925) 999-3978</u>	Home Telephone: <u>(925) 999-3950</u>
Mobile No.: <u>(510) 908-4507</u>	Mobile No.: <u>(925) 999-3962</u>
E-mail Address: <u>schuang@trumarkca.com</u>	E-mail Address: <u>gnelson@trumarkca.com</u>
Fax No.: <u>(925) 999-3990</u>	Fax No.: <u>(925) 999-3990</u>

Event Info
Business Name: <u>TRUMARK HOMES</u>
Event Hours: Days: <u>SUN THROUGH SAT</u> Hours: <u>9:00AM - 6:00PM</u>
Event Location: <u>LOT 142 (PLAN 1) - 1309 PARKCREST CIRCLE + 1315 PARKCREST CIRCLE</u>
Description of Event/ Activities: <u>USE FOR MODEL HOME (VISITORS, HOME BUYERS, ETC.) (LOT 141) UNTIL CLOSE-OUT</u>

Statement of Ownership or Authorization of Agent (Check one item)

- I, the undersigned, am (one of) the legal owner(s) of the land specified in this application.
- I, do hereby authorized and empower SHERRY CHUANG (agent) to act on my behalf on all matters relating to this application.

Gregg Nelson (Signature) GREGG NELSON (Print Name) 4/9/19 (Date)
 Property Owner Signature Print Name Date
3001 Bishop Dr. #100 San Ramon, CA. 94583 (Address) (925) 999-3962 (Telephone)
 Address City, State, Zip Telephone

In making this application, the undersigned agrees that the above information is true and that all conditions will be met.

Sherry Chuang (Signature) SHERRY CHUANG (Print Name) 4/9/19 (Date)
 Applicant Signature Print Name Date

OFFICE USE ONLY	
Fee: \$568	Receipt No.: <u>2019-00213647</u> Date Received: <u>4/11/19</u>
+ \$250 Cleaning Deposit Required. (Christmas tree Lots Only *Send copy of Approved TUP to Superintendent at Solid Waste)	
Approved: _____	Denied: _____
Planner Signature: <u>[Signature]</u>	Date <u>4/30/19</u>
Assessor's Parcel No. (APN): _____	Application Number: <u>19-058</u>

Conditions of the Temporary Use Permit

(Please initial all boxes agreeing to comply with all applicable conditions.)

- This Temporary Use Permit is only valid for the dates and times listed on this application.
- Proper building permits shall be obtained for all electrical and structural work through the City of Manteca Building Safety Division at (209) 456-8550.
- All related debris shall be removed from the site upon termination of the use.
- Applicant will provide traffic controls and parking as required by the Public Works Department and the Police Department prior to the event.
- Appropriate permits shall be secured from the San Joaquin County Health Department.
- Emergency vehicle access shall be maintained at all times.
- The placement of merchandise, signs and accessory vehicles/equipment shall not impede traffic circulation of the parking lot or create traffic conditions on PARKCREST CIRCLE.
- Proposed activity shall not interfere with existing accessibility features (e.g. accessible parking spaces).
- Applicant shall provide an accessible path of travel from the proposed event site to the public street, accessible parking space and to the accessible restroom facility, if applicable. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. CBC Section 1114B.1.2. Clearly show accessible path of travel on the site plan.
- If parking will be provided, applicant shall provide an accessible parking space.
- If restroom facilities will be provided, applicant shall provide an accessible restroom.
- All gates shall meet all applicable specifications for doors, and shall comply with the following:
 - Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.
 - Effort to operate door/gate is 5 pounds max pressure.
 - Latching and locking doors/gates that are hand operated and which are in a path of travel are operable by lever type, panic bars, and push-pull activating bars.
 - Opening hardware is centered between 30" to 44" above finish floor.
 - There shall be a floor or landing on each side of a door/gate, and must be level and clear. Level area in the direction of the door swing is a minimum of 60".
- Applicant shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.
- Applicant shall be responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
- Appropriate direction signs, barricades or fences shall be provided as necessary.
- Applicant shall obtain a valid City business license.
- A water permit and hydrant meter shall be obtained from the Public Works Department. (209) 456-8585
- An acceptable path of egress to the public right-of-way shall be maintained at all time.
- Lessor shall not be responsible or liable for any loss or injury, or damage occurring to Lessee or to the property of Lessee or to third persons, or the property of third persons, in, about, or on said leased premises, no matter how occurring and Lessee will save Lessor harmless for or on account of any loss, injury or damage to any person or persons or their property occurring therein, or resulting from Lessee's operation thereof. Prior to the use of Property, Lessee shall obtain and maintain in force at its sole cost and expense, the following insurance coverage—Comprehensive General and Automobile Liability Insurance (covering use of owned, non-owned, or hired vehicles) with limits of \$1,000,000 per occurrence, Property Damage--\$300,000 per occurrence. Such insurance shall contain provisions insuring the City of Manteca, elected officials, employees, agents, and volunteers as insureds. Such insurance shall be primary to any liability insurance carried by the Lessor. Pursuant to California Government Code Section 818.4, a public entity is not liable for an injury caused by the issuance, denial, suspension or revocation of, or by the failure of refusal to issue, deny, suspend or revoke, any permit, license, certificate, approval, order, or similar authorization where the public entity or an employee of the public entity is authorized by enactment to determine whether or not such authorization should be issued, denied, suspended or revoked.



PROJECT REFERRAL/ROUTING SHEET

DATE: 04/29/2019

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: CDD - Engineering
(Department or Agency)

Contact Person: Maribel Serrano Phone: (209) 456-0584

Project Title: Temporary Use Permit 19-058 Trumark Homes Sales Office and Model Complex

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 4/15/19

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: Plan Safety
(Department or Agency)

Contact Person: Lumen Arce Phone: X8560

Project Title: Temporary Use Permit 19-058 Trumark Homes Sales Office and Model Complex

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Memo

To: Toben Barnum, Development Services Technician
From: Lumen Arceo, Senior Plan Check Engineer
Date: April 15, 2019
Re: TUP 19--058 Trumark Homes Sales Office & Model Home Complex

1. Developer shall provide at least one accessible route within the site from accessible parking spaces and accessible passenger loading zone; public streets and sidewalks; and public transportation stops to the accessible building sales office or facility entrance they serve. Where more than one route is provided, all routes must be accessible. CBC §11B-206.2.1.
 - The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48)
2. Developer shall provide accessible parking spaces complying with CBC §11B-502 and in accordance with Table 11B-208.2. CBC §11B-208.2 and §11B-208.2.4.
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4. Developer shall provide an accessible restroom shall be provided in accordance with CBC Chapter 11B and shall be on an accessible path of travel. Show location on the site plan.
5. Developer shall obtain building permits for the parking area, sales office, restroom facility, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC §105.
6. Developer shall comply with all requirements of the Model Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.



PROJECT REFERRAL/ROUTING SHEET

DATE: 04/19/2019

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: Parks and Recreation Department
(Department or Agency)

Contact Person: Michael Rosales Phone: 456-8615

Project Title: Temporary Use Permit 19-058 Trumark Homes Sales Office and Model Complex

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 4/16/19

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: FIRE
(Department or Agency)

Contact Person: L. Ray Phone: x8347

Project Title: Temporary Use Permit 19-058 Trumark Homes Sales Office and Model Complex

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 4/16/19

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

RECEIVED
APR 17 2019
COMMUNITY DEVELOPMENT
DEPARTMENT

FROM: P.D.
(Department or Agency)

Contact Person: Scott Cunningham Phone: 8281

Project Title: Temporary Use Permit 19-058 Trumark Homes Sales Office and Model Complex

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Barnum, Toben

From: Kim, Koosun
Sent: Tuesday, April 23, 2019 11:29 AM
To: Barnum, Toben
Subject: Task Completed: TUP 19-058 Trumark Homes Sales Office and Model Complex

-----Original Task-----

Subject: TUP 19-058 Trumark Homes Sales Office and Model Complex
Priority: Normal

Start date: Mon 4/15/2019
Due date: Mon 4/29/2019

Status: Completed
% Complete: 100%
Date completed: Tue 4/23/2019
Actual work: 0 hours

Requested by: Barnum, Toben

No comment

Koosun



Routing sheet -
TUP 19-058 Tru...

Electronic copy attached. Hardcopy to follow interoffice. Thank you,

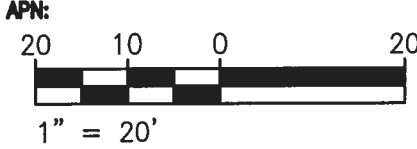
Regards,



Toben Barnum, Development Services Technician
City of Manteca | Community Development Department
1001 W. Center St. | Manteca, CA 95337
Office: 209.456.8517 | Fax: 209.923.8949
www.mantecagov.com

TRACT No. 3982
ORIGIN AT THE COLLECTIVE
SHADOWBROOK, NEIGHBORHOOD 5
LOT 141 BUILDING PLAN 2A
MANTECA, CA

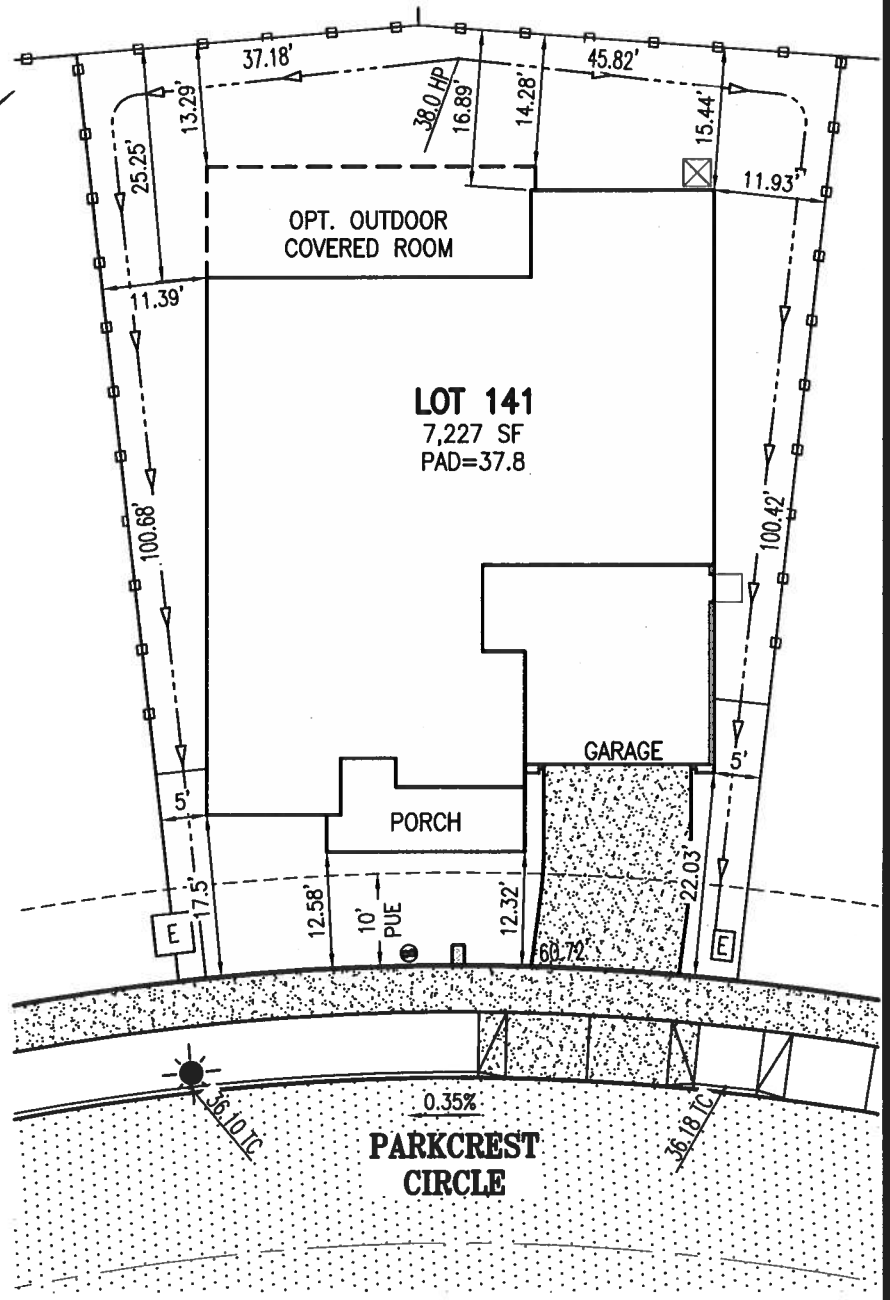
1315 PARKCREST CIRCLE



NOTES

1. LOT NUMBER AND SQUARE FOOTAGE AS SHOWN ON SHADOWBROOK, NEIGHBORHOOD 5, TRACT No. 3982 MAP.
2. ALL IMPROVEMENTS SHOWN ARE PER APPROVED IMPROVEMENT PLANS.
3. 20' FRONT GARAGE SBL, 15' FRONT LIVABLE AREA SBL, 10' FRONT PORCH SBL, 10' STREET SIDE SBL, 5' SIDE SBL, 15' AVERAGE REAR SBL, 7.5' REAR PATIO SBL
4. MAX HEIGHT = 30'
5. MAX LOT COVERAGE = 60% SINGLE STORY
6. PLAN: PLAN 2A
 OPTIONS: OUTDOOR COVERED ROOM
 FIRST FLOOR = 2,703 SF
 GARAGE = 495 SF
 PORCH = 160 SF
 COVER AREA = 3,358 SF
 LOT AREA = 7,227 SF
 TOTAL COVERAGE = 46.5%
7. IF PROPOSED WATER METER IS LOCATED WITHIN THE DRIVEWAY, UTILIZE B12 BOX WITH TRAFFIC RATED LID AND CONCRETE THICKENED EDGE, OR RELOCATE BOX OUTSIDE OF DRIVEWAY.
8. ALL DRAIN LINE, ARCHITECTURAL WALL, STAIR, SLOPE, UTILITY BOX, WALKWAY AND FENCE LOCATIONS/HEIGHTS ARE SUBJECT TO REVISION IN THE FIELD.

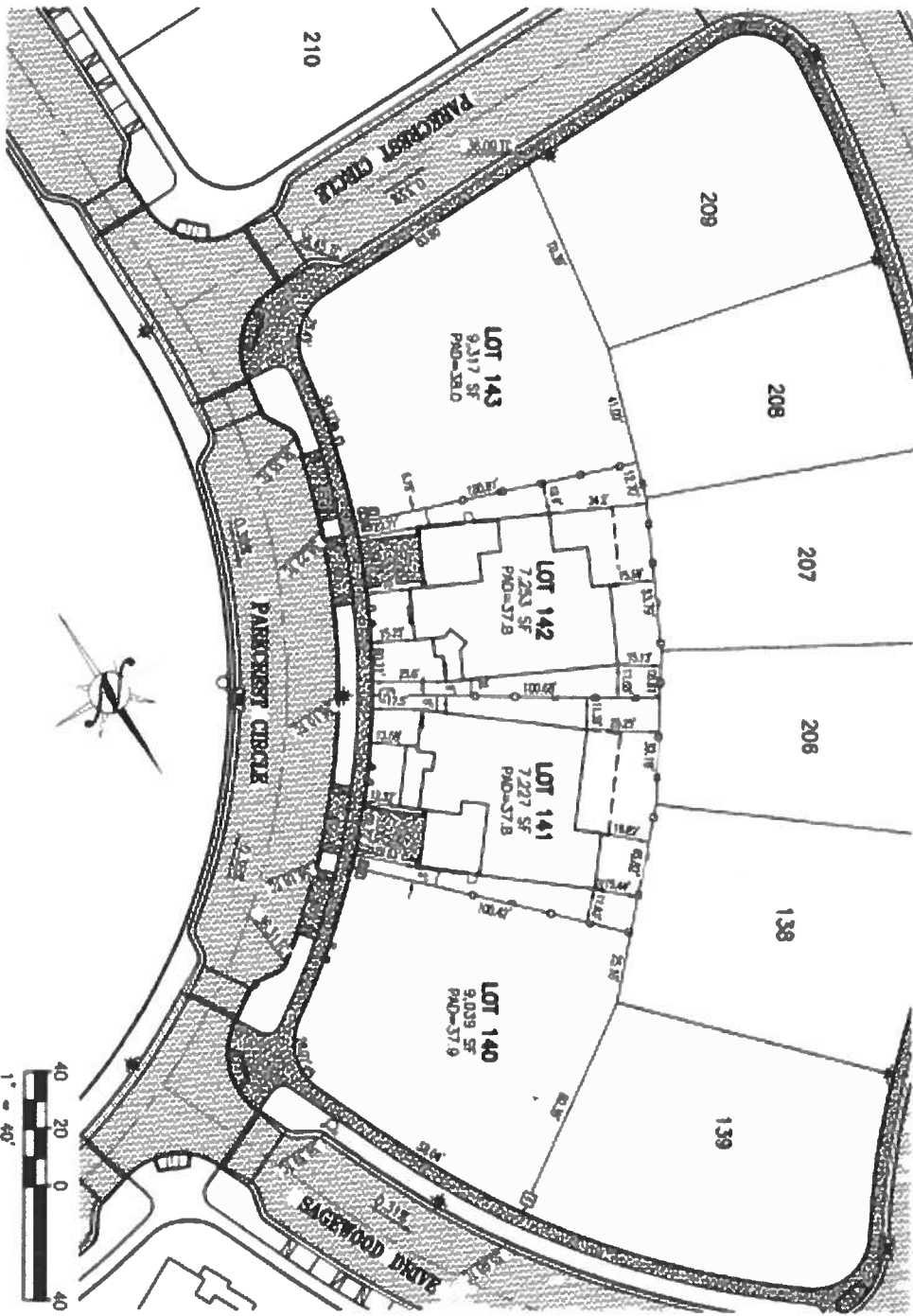
NorthStar
Engineering Group, Inc.
 • CIVIL ENGINEERING • SURVEYING • PLANNING •
 620 12th Street Modesto, CA 95354
 (209) 524-3525 Phone (209) 524-3526 Fax



LEGEND

	RIGHT-OF-WAY		WOOD FENCE		SSJID EASEMENT
	LOT LINE		SEWER MAIN		WATER SERVICE
	10' PUE		WATER MAIN		SEWER SERVICE
	MASONRY WALL		STORM DRAIN		ELECTRICAL SERVICE
	1% (MIN) SWALE		IRRIGATION MAIN		STREET LIGHT

SHADOWBROOK NEIGHBORHOOD 5 ORIGIN AT THE COLLECTIVE MODEL HOME COMPLEX



NorthStar
 Engineering Group, Inc.
 • 1111 West 10th Street • Des Moines, IA 50319
 • 515-281-1111 • Fax 515-281-1112

GENERAL NOTES

- 20' GARAGE SETBACK
- 15' FRONT YARD SETBACK
- 10' PORCH SETBACK
- *15' REAR YARD SETBACK
- 10' STREET SIDE YARD SETBACK
- 5' SIDE YARD SETBACK
- SETBACKS ARE PER THE COLLECTIVE ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES, REVISED SEPTEMBER 2018.
- MAXIMUM LOT COVERAGE IS 60% ONE STORY, 55% TWO STORY

*ADJACING IS ALLOWED, REAR SETBACK OF 10' MINIMUM WITH AN AVERAGE OF 15'

LEGEND

	RIGHT OF WAY LINE
	LOT LINE
	SHADOW SETBACK LINE
	CENTURLINE
	ELECTRICAL SERVICE
	WATER SERVICE
	SEWER SERVICE
	STREET LIGHT
	CATCH BASIN
	FIRE HYDRANT

ORIGIN AT THE COLLECTIVE

SALES OFFICE

MANTECA, CA



Architecture + Planning
The Leaning Tower Building
1814 Franklin Street, Suite 400
Oakland, CA 94612
ktgy.com
510.272.2910

KTGY Project No: 180882
Project Contact: Brian McCall
Email: bmcCall@ktgy.com

Project Designer: Jill Williams
Project Designer: Jill Williams

Developer:
TRUMARK HOMES
TRUMARK HOMES
3001 BISHOP DR.
SAN RAMON, CA 94583

THE COLLECTIVE
SALES OFFICE
MANTECA CA
A.P.N.: 218-130-01

No.	Date	Description
1	2018-09-08	1ST B.O. SUBMITTAL



SALES OFFICE TITLE
SHEET - PLAN 2A-R

SO.0

SHEET LIST

NO.	TITLE	DATE
1	SALES OFFICE TITLE SHEET	09/08/18
2	GENERAL NOTES	09/08/18
3	EXISTING AND LEGEND	09/08/18
4	VICINITY MAP	09/08/18
5	CODE ANALYSIS	09/08/18
6	PROJECT SCOPE	09/08/18
7	LOG OF ISSUED DOCUMENTS	09/08/18

CODE ANALYSIS

THIS ANALYSIS IS BASED ON THE CITY OF MANTECA LOCAL ORDINANCES AND ORDINANCES ADOPTED BY THE CITY OF MANTECA. THE ANALYSIS IS BASED ON THE CITY OF MANTECA LOCAL ORDINANCES AND ORDINANCES ADOPTED BY THE CITY OF MANTECA. THE ANALYSIS IS BASED ON THE CITY OF MANTECA LOCAL ORDINANCES AND ORDINANCES ADOPTED BY THE CITY OF MANTECA.

SECTION 16.02.01 - ZONING

16.02.01.01 - ZONING DISTRICTS

16.02.01.02 - ZONING REGULATIONS

16.02.01.03 - ZONING MAP

16.02.01.04 - ZONING APPLICATIONS

16.02.01.05 - ZONING VARIANCES

16.02.01.06 - ZONING APPEALS

16.02.01.07 - ZONING ENFORCEMENT

16.02.01.08 - ZONING ADMINISTRATION

16.02.01.09 - ZONING RECORDS

16.02.01.10 - ZONING TRAINING

16.02.01.11 - ZONING MONITORING

16.02.01.12 - ZONING EVALUATION

16.02.01.13 - ZONING REVISIONS

16.02.01.14 - ZONING AMENDMENTS

16.02.01.15 - ZONING CANCELLATION

16.02.01.16 - ZONING REINSTATEMENT

16.02.01.17 - ZONING TRANSFER

16.02.01.18 - ZONING ASSIGNMENT

16.02.01.19 - ZONING SURRENDER

16.02.01.20 - ZONING RESCINDMENT

16.02.01.21 - ZONING REVOCATION

16.02.01.22 - ZONING ANNULLMENT

16.02.01.23 - ZONING SET ASIDE

16.02.01.24 - ZONING REPEAL

16.02.01.25 - ZONING REPEAL AND REENACTMENT

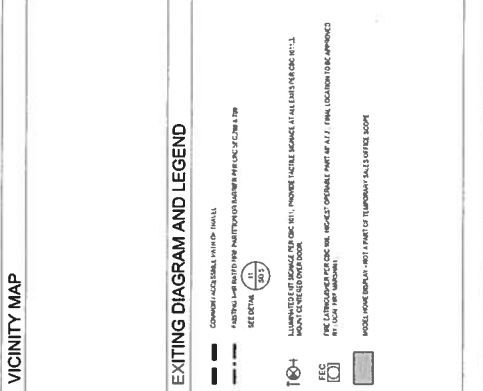
16.02.01.26 - ZONING REPEAL AND REENACTMENT WITH AMENDMENT

16.02.01.27 - ZONING REPEAL AND REENACTMENT WITH AMENDMENT AND VARIANCE

16.02.01.28 - ZONING REPEAL AND REENACTMENT WITH AMENDMENT AND VARIANCE AND APPEAL

16.02.01.29 - ZONING REPEAL AND REENACTMENT WITH AMENDMENT AND VARIANCE AND APPEAL AND VARIANCE

16.02.01.30 - ZONING REPEAL AND REENACTMENT WITH AMENDMENT AND VARIANCE AND APPEAL AND VARIANCE AND APPEAL AND VARIANCE



ABBREVIATIONS

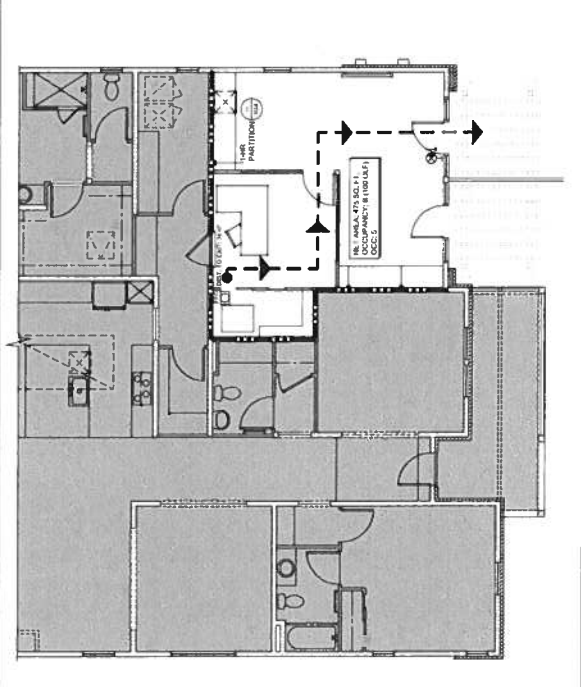
1	1" = 1/8" (1/8" SCALE)
2	1" = 1/4" (1/4" SCALE)
3	1" = 1/2" (1/2" SCALE)
4	1" = 3/4" (3/4" SCALE)
5	1" = 1" (1" SCALE)
6	1" = 1 1/4" (1 1/4" SCALE)
7	1" = 1 1/2" (1 1/2" SCALE)
8	1" = 1 3/4" (1 3/4" SCALE)
9	1" = 2" (2" SCALE)
10	1" = 2 1/2" (2 1/2" SCALE)
11	1" = 3" (3" SCALE)
12	1" = 3 1/2" (3 1/2" SCALE)
13	1" = 4" (4" SCALE)
14	1" = 4 1/2" (4 1/2" SCALE)
15	1" = 5" (5" SCALE)
16	1" = 5 1/2" (5 1/2" SCALE)
17	1" = 6" (6" SCALE)
18	1" = 6 1/2" (6 1/2" SCALE)
19	1" = 7" (7" SCALE)
20	1" = 7 1/2" (7 1/2" SCALE)
21	1" = 8" (8" SCALE)
22	1" = 8 1/2" (8 1/2" SCALE)
23	1" = 9" (9" SCALE)
24	1" = 9 1/2" (9 1/2" SCALE)
25	1" = 10" (10" SCALE)
26	1" = 10 1/2" (10 1/2" SCALE)
27	1" = 11" (11" SCALE)
28	1" = 11 1/2" (11 1/2" SCALE)
29	1" = 12" (12" SCALE)
30	1" = 12 1/2" (12 1/2" SCALE)
31	1" = 13" (13" SCALE)
32	1" = 13 1/2" (13 1/2" SCALE)
33	1" = 14" (14" SCALE)
34	1" = 14 1/2" (14 1/2" SCALE)
35	1" = 15" (15" SCALE)
36	1" = 15 1/2" (15 1/2" SCALE)
37	1" = 16" (16" SCALE)
38	1" = 16 1/2" (16 1/2" SCALE)
39	1" = 17" (17" SCALE)
40	1" = 17 1/2" (17 1/2" SCALE)
41	1" = 18" (18" SCALE)
42	1" = 18 1/2" (18 1/2" SCALE)
43	1" = 19" (19" SCALE)
44	1" = 19 1/2" (19 1/2" SCALE)
45	1" = 20" (20" SCALE)
46	1" = 20 1/2" (20 1/2" SCALE)
47	1" = 21" (21" SCALE)
48	1" = 21 1/2" (21 1/2" SCALE)
49	1" = 22" (22" SCALE)
50	1" = 22 1/2" (22 1/2" SCALE)
51	1" = 23" (23" SCALE)
52	1" = 23 1/2" (23 1/2" SCALE)
53	1" = 24" (24" SCALE)
54	1" = 24 1/2" (24 1/2" SCALE)
55	1" = 25" (25" SCALE)
56	1" = 25 1/2" (25 1/2" SCALE)
57	1" = 26" (26" SCALE)
58	1" = 26 1/2" (26 1/2" SCALE)
59	1" = 27" (27" SCALE)
60	1" = 27 1/2" (27 1/2" SCALE)
61	1" = 28" (28" SCALE)
62	1" = 28 1/2" (28 1/2" SCALE)
63	1" = 29" (29" SCALE)
64	1" = 29 1/2" (29 1/2" SCALE)
65	1" = 30" (30" SCALE)
66	1" = 30 1/2" (30 1/2" SCALE)
67	1" = 31" (31" SCALE)
68	1" = 31 1/2" (31 1/2" SCALE)
69	1" = 32" (32" SCALE)
70	1" = 32 1/2" (32 1/2" SCALE)
71	1" = 33" (33" SCALE)
72	1" = 33 1/2" (33 1/2" SCALE)
73	1" = 34" (34" SCALE)
74	1" = 34 1/2" (34 1/2" SCALE)
75	1" = 35" (35" SCALE)
76	1" = 35 1/2" (35 1/2" SCALE)
77	1" = 36" (36" SCALE)
78	1" = 36 1/2" (36 1/2" SCALE)
79	1" = 37" (37" SCALE)
80	1" = 37 1/2" (37 1/2" SCALE)
81	1" = 38" (38" SCALE)
82	1" = 38 1/2" (38 1/2" SCALE)
83	1" = 39" (39" SCALE)
84	1" = 39 1/2" (39 1/2" SCALE)
85	1" = 40" (40" SCALE)
86	1" = 40 1/2" (40 1/2" SCALE)
87	1" = 41" (41" SCALE)
88	1" = 41 1/2" (41 1/2" SCALE)
89	1" = 42" (42" SCALE)
90	1" = 42 1/2" (42 1/2" SCALE)
91	1" = 43" (43" SCALE)
92	1" = 43 1/2" (43 1/2" SCALE)
93	1" = 44" (44" SCALE)
94	1" = 44 1/2" (44 1/2" SCALE)
95	1" = 45" (45" SCALE)
96	1" = 45 1/2" (45 1/2" SCALE)
97	1" = 46" (46" SCALE)
98	1" = 46 1/2" (46 1/2" SCALE)
99	1" = 47" (47" SCALE)
100	1" = 47 1/2" (47 1/2" SCALE)

PROJECT SCOPE

THIS PROJECT IS THE DESIGN AND CONSTRUCTION OF THE SALES OFFICE FOR THE TRUMARK HOMES DEVELOPMENT. THE SALES OFFICE IS TO BE LOCATED AT THE CORNER OF BISHOP DRIVE AND MAIN STREET IN MANTECA, CALIFORNIA. THE SALES OFFICE IS TO BE A SINGLE-STORY BUILDING WITH A TOTAL AREA OF APPROXIMATELY 10,000 SQUARE FEET. THE SALES OFFICE IS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MANTECA LOCAL ORDINANCES AND ORDINANCES ADOPTED BY THE CITY OF MANTECA.

PROJECT TEAM

ROLE	NAME	COMPANY
ARCHITECT	Brian McCall	ktgy
PROJECT MANAGER	Jill Williams	ktgy
DESIGNER	Jill Williams	ktgy
DEVELOPER	Trumark Homes	Trumark Homes



LOG OF ISSUED DOCUMENTS

NO.	DATE	DESCRIPTION
1	2018-09-08	1ST B.O. SUBMITTAL
2	2018-09-15	2ND B.O. SUBMITTAL
3	2018-09-22	3RD B.O. SUBMITTAL
4	2018-09-29	4TH B.O. SUBMITTAL
5	2018-10-06	5TH B.O. SUBMITTAL
6	2018-10-13	6TH B.O. SUBMITTAL
7	2018-10-20	7TH B.O. SUBMITTAL
8	2018-10-27	8TH B.O. SUBMITTAL
9	2018-11-03	9TH B.O. SUBMITTAL
10	2018-11-10	10TH B.O. SUBMITTAL
11	2018-11-17	11TH B.O. SUBMITTAL
12	2018-11-24	12TH B.O. SUBMITTAL
13	2018-12-01	13TH B.O. SUBMITTAL
14	2018-12-08	14TH B.O. SUBMITTAL
15	2018-12-15	15TH B.O. SUBMITTAL
16	2018-12-22	16TH B.O. SUBMITTAL
17	2019-01-05	17TH B.O. SUBMITTAL
18	2019-01-12	18TH B.O. SUBMITTAL
19	2019-01-19	19TH B.O. SUBMITTAL
20	2019-01-26	20TH B.O. SUBMITTAL
21	2019-02-02	21TH B.O. SUBMITTAL
22	2019-02-09	22TH B.O. SUBMITTAL
23	2019-02-16	23TH B.O. SUBMITTAL
24	2019-02-23	24TH B.O. SUBMITTAL
25	2019-03-01	25TH B.O. SUBMITTAL
26	2019-03-08	26TH B.O. SUBMITTAL
27	2019-03-15	27TH B.O. SUBMITTAL
28	2019-03-22	28TH B.O. SUBMITTAL
29	2019-03-29	29TH B.O. SUBMITTAL
30	2019-04-05	30TH B.O. SUBMITTAL
31	2019-04-12	31TH B.O. SUBMITTAL
32	2019-04-19	32TH B.O. SUBMITTAL
33	2019-04-26	33TH B.O. SUBMITTAL
34	2019-05-03	34TH B.O. SUBMITTAL
35	2019-05-10	35TH B.O. SUBMITTAL
36	2019-05-17	36TH B.O. SUBMITTAL
37	2019-05-24	37TH B.O. SUBMITTAL
38	2019-05-31	38TH B.O. SUBMITTAL
39	2019-06-07	39TH B.O. SUBMITTAL
40	2019-06-14	40TH B.O. SUBMITTAL
41	2019-06-21	41TH B.O. SUBMITTAL
42	2019-06-28	42TH B.O. SUBMITTAL
43	2019-07-05	43TH B.O. SUBMITTAL
44	2019-07-12	44TH B.O. SUBMITTAL
45	2019-07-19	45TH B.O. SUBMITTAL
46	2019-07-26	46TH B.O. SUBMITTAL
47	2019-08-02	47TH B.O. SUBMITTAL
48	2019-08-09	48TH B.O. SUBMITTAL
49	2019-08-16	49TH B.O. SUBMITTAL
50	2019-08-23	50TH B.O. SUBMITTAL
51	2019-08-30	51TH B.O. SUBMITTAL
52	2019-09-06	52TH B.O. SUBMITTAL
53	2019-09-13	53TH B.O. SUBMITTAL
54	2019-09-20	54TH B.O. SUBMITTAL
55	2019-09-27	55TH B.O. SUBMITTAL
56	2019-10-04	56TH B.O. SUBMITTAL
57	2019-10-11	57TH B.O. SUBMITTAL
58	2019-10-18	58TH B.O. SUBMITTAL
59	2019-10-25	59TH B.O. SUBMITTAL
60	2019-11-01	60TH B.O. SUBMITTAL
61	2019-11-08	61TH B.O. SUBMITTAL
62	2019-11-15	62TH B.O. SUBMITTAL
63	2019-11-22	63TH B.O. SUBMITTAL
64	2019-11-29	64TH B.O. SUBMITTAL
65	2019-12-06	65TH B.O. SUBMITTAL
66	2019-12-13	66TH B.O. SUBMITTAL
67	2019-12-20	67TH B.O. SUBMITTAL
68	2019-12-27	68TH B.O. SUBMITTAL
69	2020-01-03	69TH B.O. SUBMITTAL
70	2020-01-10	70TH B.O. SUBMITTAL
71	2020-01-17	71TH B.O. SUBMITTAL
72	2020-01-24	72TH B.O. SUBMITTAL
73	2020-01-31	73TH B.O. SUBMITTAL
74	2020-02-07	74TH B.O. SUBMITTAL
75	2020-02-14	75TH B.O. SUBMITTAL
76	2020-02-21	76TH B.O. SUBMITTAL
77	2020-02-28	77TH B.O. SUBMITTAL
78	2020-03-06	78TH B.O. SUBMITTAL
79	2020-03-13	79TH B.O. SUBMITTAL
80	2020-03-20	80TH B.O. SUBMITTAL
81	2020-03-27	81TH B.O. SUBMITTAL
82	2020-04-03	82TH B.O. SUBMITTAL
83	2020-04-10	83TH B.O. SUBMITTAL
84	2020-04-17	84TH B.O. SUBMITTAL
85	2020-04-24	85TH B.O. SUBMITTAL
86	2020-05-01	86TH B.O. SUBMITTAL
87	2020-05-08	87TH B.O. SUBMITTAL
88	2020-05-15	88TH B.O. SUBMITTAL
89	2020-05-22	89TH B.O. SUBMITTAL
90	2020-05-29	90TH B.O. SUBMITTAL
91	2020-06-05	91TH B.O. SUBMITTAL
92	2020-06-12	92TH B.O. SUBMITTAL
93	2020-06-19	93TH B.O. SUBMITTAL
94	2020-06-26	94TH B.O. SUBMITTAL
95	2020-07-03	95TH B.O. SUBMITTAL
96	2020-07-10	96TH B.O. SUBMITTAL
97	2020-07-17	97TH B.O. SUBMITTAL
98	2020-07-24	98TH B.O. SUBMITTAL
99	2020-07-31	99TH B.O. SUBMITTAL
100	2020-08-07	100TH B.O. SUBMITTAL

