



# CITY OF MANTECA

## COMMUNITY DEVELOPMENT DEPARTMENT

June 19, 2019

Raymus Homes  
ATTN: Laurin Sephos  
1433 Moffat Blvd., Suite 13  
Manteca, CA 95336

### **SUBJECT: TUP-19-079 RAYMUS HOMES OLEANDER # 4 SALES OFFICE & MODEL COMPLEX**

Dear Applicant:

The City of Manteca Planning Division has reviewed your Temporary Use Permit application for a sales office and model complex. Your project application has been approved with the following conditions:

#### **Planning Division**

1. The Temporary Use Permit is only valid for the following dates: June 20, 2019 until the final home is sold for Raymus Homes in the Oleander Unit 4 Subdivision.
2. All related debris shall be removed from the site upon termination of the use.
3. Emergency vehicle access shall be maintained at all times.
4. All on site landscape shall be maintained by property owner.
5. Developer shall obtain permits to meet the requirements of Model Water Efficiency Landscaping Ordinance.
6. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
7. Utility Companies: The applicant is responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
8. Fees: Developer shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

#### **Building Safety Division**

9. Developer shall provide at least one accessible route within the site from accessible parking spaces and accessible passenger loading zone; public streets and sidewalks; and public

transportation stops to the accessible building sales office or facility entrance they serve. Where more than one route is provided, all routes must be accessible. CBC §11B-206.2.1.

- The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48)

10. Developer shall provide accessible parking spaces complying with CBC §11B-502 and in accordance with Table 11B-208.2. CBC §11B-208.2 and §11B-208.2.4.
11. Developer shall provide that all entrances and exterior ground-floor exits to the sales office building shall be accessible and shall comply with CBC §11B-404. CBC §11B-206.4.1.
12. Developer shall obtain building permits for the parking area, sales office, restroom facility, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC §105.
13. Developer shall comply with all requirements of the Model Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.

#### **Parks and Recreation Department**

14. Street trees shall match Street Tree Plan provided by the Developer and approved by the City Arborist.  
NOTE: To date, we have not received a street tree plan for the final subdivision map.

If you have questions or if you need supplemental information regarding this letter, please contact Development Services Technician Toben Barnum at (209) 456-8517 or [tbarnum@ci.manteca.ca.us](mailto:tbarnum@ci.manteca.ca.us).

Sincerely,



Greg Showerman  
Community Development Director



## CITY OF MANTECA Community Development Department Project Referral/Routing

### City Departments

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> <b>Engineering</b> – Maribel Serrano         | <input checked="" type="checkbox"/> <b>Police Department</b> - Scott Cunningham |
| <input checked="" type="checkbox"/> <b>Building Department</b> - Lumen Arceo     | <input checked="" type="checkbox"/> <b>Public Works</b> – Koosun Kim            |
| <input checked="" type="checkbox"/> <b>Parks and Recreation</b> -Michael Rosales | <input type="checkbox"/> <b>City Attorney</b> – John Brinton                    |
| <input checked="" type="checkbox"/> <b>Fire Department</b> -Lantz Rey            | <input type="checkbox"/> <b>Park and Recreation: Landscaping</b> - Katie Reed   |

### Outside Agencies

- |   |   |
|---|---|
| <input type="checkbox"/> South San Joaquin Irrigation District (SSJID)            | <input type="checkbox"/> City of Ripon  |
| <input type="checkbox"/> San Joaquin County Multi-Species<br>Habitat Conservation | <input type="checkbox"/> City of Lathrop  |
| <input type="checkbox"/> San Joaquin Council of Governments (SJCOG)               | <input type="checkbox"/> Union Pacific Railroad                                   |
| <input type="checkbox"/> San Joaquin County Environmental Health                  | <input type="checkbox"/> ALUC-Airport Land Use Commission                         |
| <input type="checkbox"/> San Joaquin County Public Works                          | <input type="checkbox"/> CA Dept. of Fish and Game                                |
| <input type="checkbox"/> San Joaquin County Community<br>Development Department   | <input type="checkbox"/> CA Dept. of Conservation                                 |
| <input type="checkbox"/> San Joaquin County LAFCo                                 | <input type="checkbox"/> Dept. of Water Resources Control Board,<br>Water Quality |
| <input type="checkbox"/> Caltrans District 10                                     | <input type="checkbox"/> Native American Heritage Commission                      |
| <input type="checkbox"/> San Joaquin Valley Air Pollution Control<br>District     | <input type="checkbox"/> U.S. Dept. of Fish and Wildlife Services                 |
| <input type="checkbox"/> San Joaquin Delta College,<br>Office of the President    | <input type="checkbox"/> U.S. Army Corp. of Engineers                             |
| <input type="checkbox"/> Manteca Unified School District                          | <input type="checkbox"/> Federal Emergency Management Agency (FEMA)               |
| <input type="checkbox"/> Ripon Unified School District                            | <input type="checkbox"/> U.S. Post Office   |
| <input type="checkbox"/> Lathrop-Manteca Fire District                            | <input type="checkbox"/> Comcast Cable  |
| <input type="checkbox"/> Ripon Consolidated Fire District                         | <input type="checkbox"/> Verizon  |
|   | <input type="checkbox"/> Pacific Gas and Electric                                 |
|   | <input type="checkbox"/> San Joaquin Bike Coalition                               |

**Referral/Route Date:** June 5, 2019

**From:** Toben Barnum, Development Services Technician (209) 456-8517, [tbarnum@ci.manteca.ca.us](mailto:tbarnum@ci.manteca.ca.us)

**Project Description:** TUP for a Sales Office and Model Complex, Oleander 4 Raymus Homes.

**Project Location:** 1254 Sephos (226-520-43), 1260 Sephos (226-520-42), 1272 Sephos (226-520-41). Sales office is at 1254 Sephos. Off-street parking is on adjacent Lot 365.

The Planning Division would appreciate your comments/conditions at the earliest possible date, but **no later than June 19, 2019**. Please submit your comments on a separate memo, or on the form provided on the back of this page. If possible, please email your comments to [tbarnum@ci.manteca.ca.us](mailto:tbarnum@ci.manteca.ca.us) in addition to submitting a hard copy. Contact **Toben Barnum** at **(209) 456-8517** if you have any questions.



# TEMPORARY USE PERMIT APPLICATION

CITY OF MANTECA, COMMUNITY DEVELOPMENT DEPARTMENT  
1001 W. CENTER ST., MANTECA, CA 95337, (209)456-8500  
planning@ci.manteca.ca.us

Applicant Info (oleander L.P.)	Property Owner Info
Name: Laurin Sephos for Raymus Homes	Name: Oleander L.P.
Address: 1433 Moffat Blvd., STE 13	Address: 1433 Moffat Blvd., STE 13
City/State/Zip: Manteca, CA 95336	City/State/Zip: Manteca, CA 95336
Home Telephone: 209-824-3080	Home Telephone: 209-824-3080
Mobile No.: 209-923-0275 (Laurin)	Mobile No.:
E-mail Address: Laurin@RaymusHomes.com	E-mail Address: Laurin@RaymusHomes.com
Fax No.: 209-433-0467	Fax No.: 209-433-0467

Event Info
Business Name: Oleander L.P. / Raymus Homes / onsite sales office at Oleander 4
Event Hours: Days: Daily (November 2019-2022) Hours: 10AM - 6PM
Event Location: Lot 364 - 1254 Sephos Street, Manteca, CA 95336
Description of Event/ Activities: ongoing model home demonstrations, neighborhood tours, and new home sales for Oleander Estates Unit No. 4 neighborhood

### Statement of Ownership or Authorization of Agent (Check one item)

- I, the undersigned, am (one of) the legal owner(s) of the land specified in this application.
- I, do hereby authorized and empower Laurin Sephos and Brenda Geringer (agent) to act on my behalf on all matters relating to this application.

Laurin Sephos Toni Raymus 5-14-2019  
 Property Owner Signature Print Name Date

1433 Moffat Blvd., STE 13 Manteca, CA 95336 209-824-3080  
 Address City, State, Zip Telephone

In making this application, the undersigned agrees that the above information is true and that all conditions will be met.

Laurin Sephos Laurin Sephos 5-14-2019  
 Applicant Signature Print Name Date

OFFICE USE ONLY		
Fee: \$568	Receipt No.: 2019-00250729	Date Received: 6/4/19
+ \$250 Cleaning Deposit Required. (Christmas tree Lots Only *Send copy of Approved TUP to Superintendent at Solid Waste)		
Approved: <u>X</u>	Denied: _____	
Planner Signature: <u>[Signature]</u>	Date 6/20/19	
Assessor's Parcel No. (APN): 226-520-41 thru 44	Application Number: 19-079	

### Conditions of the Temporary Use Permit

(Please initial all boxes agreeing to comply with all applicable conditions.)

- This Temporary Use Permit is only valid for the dates and times listed on this application.
- Proper building permits shall be obtained for all electrical and structural work through the City of Manteca Building Safety Division at (209) 456-8550.
- All related debris shall be removed from the site upon termination of the use.
- Applicant will provide traffic controls and parking as required by the Public Works Department and the Police Department prior to the event.
- Appropriate permits shall be secured from the San Joaquin County Health Department.
- Emergency vehicle access shall be maintained at all times.
- The placement of merchandise, signs and accessory vehicles/equipment shall not impede traffic circulation of the parking lot or create traffic conditions on \_\_\_\_\_.
- Proposed activity shall not interfere with existing accessibility features (e.g. accessible parking spaces).
- Applicant shall provide an accessible path of travel from the proposed event site to the public street, accessible parking space and to the accessible restroom facility, if applicable. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. CBC Section 1114B.1.2. Clearly show accessible path of travel on the site plan.
- If parking will be provided, applicant shall provide an accessible parking space.
- If restroom facilities will be provided, applicant shall provide an accessible restroom.
- All gates shall meet all applicable specifications for doors, and shall comply with the following:
- Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.
  - Effort to operate door/gate is 5 pounds max pressure.
  - Latching and locking doors/gates that are hand operated and which are in a path of travel are operable by lever type, panic bars, and push-pull activating bars.
  - Opening hardware is centered between 30" to 44" above finish floor.
  - There shall be a floor or landing on each side of a door/gate, and must be level and clear. Level area in the direction of the door swing is a minimum of 60".
- Applicant shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.
- Applicant shall be responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
- Appropriate direction signs, barricades or fences shall be provided as necessary.
- Applicant shall obtain a valid City business license.
- A water permit and hydrant meter shall be obtained from the Public Works Department. (209) 456-8585
- An acceptable path of egress to the public right-of-way shall be maintained at all time.
- Lessor shall not be responsible or liable for any loss or injury, or damage occurring to Lessee or to the property of Lessee or to third persons, or the property of third persons, in, about, or on said leased premises, no matter how occurring and Lessee will save Lessor harmless for or on account of any loss, injury or damage to any person or persons or their property occurring therein, or resulting from Lessee's operation thereof. Prior to the use of Property, Lessee shall obtain and maintain in force at its sole cost and expense, the following insurance coverage—Comprehensive General and Automobile Liability Insurance (covering use of owned, non-owned, or hired vehicles) with limits of \$1,000,000 per occurrence, Property Damage--\$300,000 per occurrence. Such insurance shall contain provisions insuring the City of Manteca, elected officials, employees, agents, and volunteers as insureds. Such insurance shall be primary to any liability insurance carried by the Lessor. Pursuant to California Government Code Section 818.4, a public entity is not liable for an injury caused by the issuance, denial, suspension or revocation of, or by the failure of refusal to issue, deny, suspend or revoke, any permit, license, certificate, approval, order, or similar authorization where the public entity or an employee of the public entity is authorized by enactment to determine whether or not such authorization should be issued, denied, suspended or revoked.



## PROJECT REFERRAL/ROUTING SHEET

DATE: 06/19/2019

To: **City of Manteca Planning Division**  
1001 W. Center Street  
Manteca, CA 95337

FROM: CDD-engineering  
(Department or Agency)

Contact Person: Maribel Serrano Phone: (209) 456-8586

Project Title: Temporary Use Permit 19-079 Raymus Homes Oleander 4 Sales Office & Model Complex

### RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

**PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).**



## PROJECT REFERRAL/ROUTING SHEET

DATE: 6/10/19

To: **City of Manteca Planning Division**  
1001 W. Center Street  
Manteca, CA 95337

FROM: Blkg Safety  
(Department or Agency)

Contact Person: Lumen Arce Phone: X 8560

Project Title: Temporary Use Permit 19-079 Raymus Homes Oleander 4 Sales Office & Model Complex

### RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

**PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).**

# Memo

**To:** Toben Barnum, Development Services Technician  
**From:** Lumen Arceo, Senior Plan Check Engineer  
**Date:** June 10, 2019  
**Re:** TUP 19--079 Raymus Homes Sales Office & Model Home Complex

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1. Developer shall provide at least one accessible route within the site from accessible parking spaces and accessible passenger loading zone; public streets and sidewalks; and public transportation stops to the accessible building sales office or facility entrance they serve. Where more than one route is provided, all routes must be accessible. CBC §11B-206.2.1.
  - The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48)
2. Developer shall provide accessible parking spaces complying with CBC §11B-502 and in accordance with Table 11B-208.2. CBC §11B-208.2 and §11B-208.2.4.
3. Developer shall provide that all entrances and exterior ground-floor exits to the sales office building shall be accessible and shall comply with CBC §11B-404. CBC §11B-206.4.1.
4. Developer shall obtain building permits for the parking area, sales office, restroom facility, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC §105.
5. Developer shall comply with all requirements of the Model Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.



## PROJECT REFERRAL/ROUTING SHEET

DATE: 06/11/2019

To: **City of Manteca Planning Division**  
**1001 W. Center Street**  
**Manteca, CA 95337**

FROM: Parks and Recreation Department  
(Department or Agency)

Contact Person: Michael Rosales Phone: 456-8615

Project Title: Temporary Use Permit 19-079 Raymus Homes Oleander 4 Sales Office & Model Complex

### RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED ~~MEMO~~ Below)

**PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).**

#### Parks Comments:

1. Street trees shall match Street Tree Plan provided by the Developer and approved by the City Arborist.

Note: To date we have not received a street tree plan for the final subdivision map.



## PROJECT REFERRAL/ROUTING SHEET

DATE: 6/18/19

To: **City of Manteca Planning Division**  
1001 W. Center Street  
Manteca, CA 95337

FROM: FIRE  
(Department or Agency)

Contact Person: L. Rey Phone: 8347

Project Title: Temporary Use Permit 19-079 Raymus Homes Oleander 4 Sales Office & Model Complex

### RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

**PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).**



## PROJECT REFERRAL/ROUTING SHEET

RECEIVED  
JUN 12 2019  
COMMUNITY DEVELOPMENT  
DEPARTMENT

DATE: 6/11/19

To: **City of Manteca Planning Division**  
1001 W. Center Street  
Manteca, CA 95337

FROM: P.D.  
(Department or Agency)

Contact Person: S. Cunningham Phone: 8281

Project Title: Temporary Use Permit 19-079 Raymus Homes Oleander 4 Sales Office & Model Complex

**RESPONSE:**

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

**PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).**

## Barnum, Toben

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**From:** Kim, Koosun  
**Sent:** Wednesday, June 05, 2019 3:33 PM  
**To:** Barnum, Toben  
**Subject:** Task Completed: TUP 19-079 Raymus Homes Oleander 4 Sales Office and Model Complex

Thank you,



**Koosun Kim, PE, QSD**

**Deputy Director of Public Works - Engineering**

City of Manteca | Public Works  
1001 W. Center St. | Manteca, CA 95337  
Office: 209.456-8419 | Fax: 209.923.8940  
[www.mantecagov.com](http://www.mantecagov.com)

-----Original Task-----

**Subject:** TUP 19-079 Raymus Homes Oleander 4 Sales Office and Model Complex  
**Priority:** Normal

**Start date:** Wed 6/5/2019  
**Due date:** Wed 6/19/2019

**Status:** Completed  
**% Complete:** 100%  
**Date completed:** Wed 6/5/2019  
**Actual work:** 0 hours

**Requested by:** Barnum, Toben

**No comment**



Routing sheet -  
TUP 19-079 Ole...

Hardcopy to follow interoffice. Thank you.



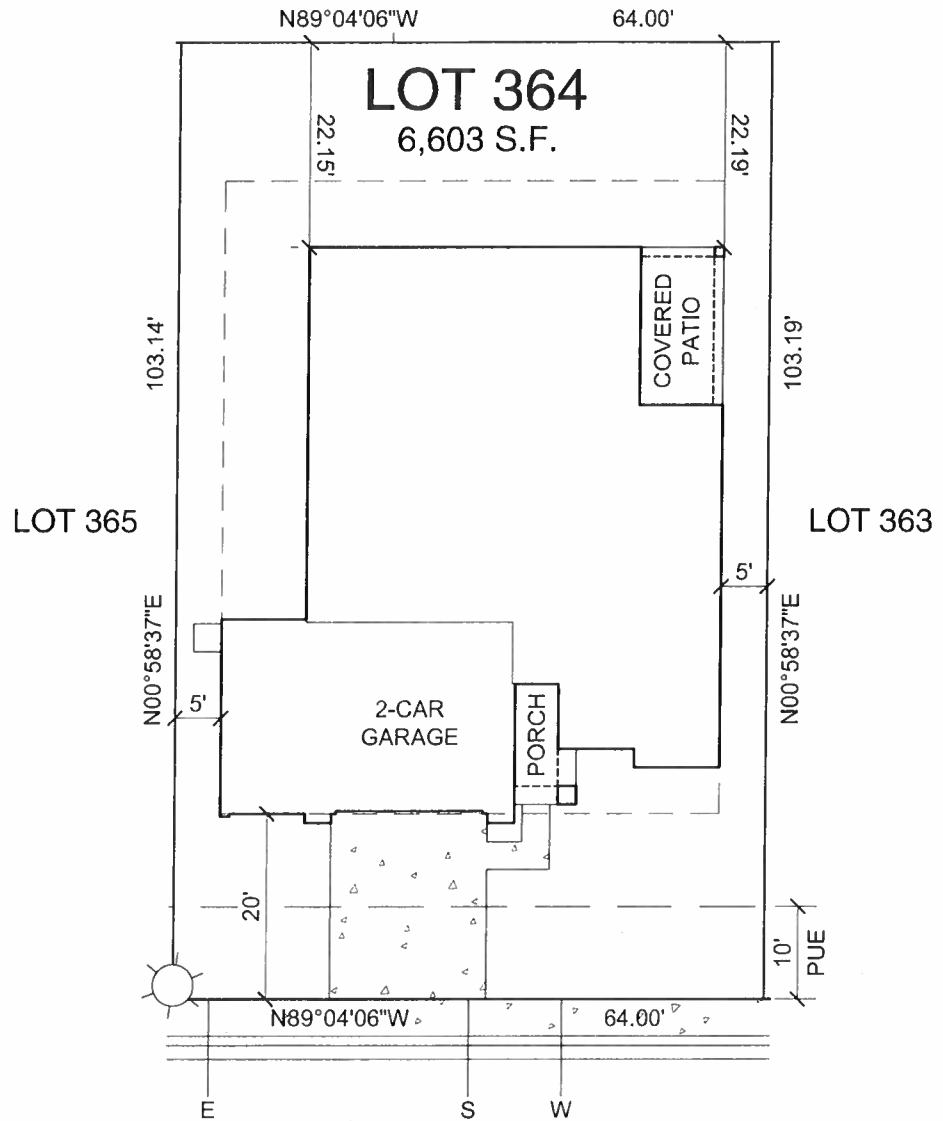
Toben Barnum, Development Services Technician

**LEGEND**

- PUBLIC UTILITY EASEMENT PUE
- WATER SERVICE — W
- SEWER SERVICE — S
- ELECTRICAL SERVICE — E
- FIRE HYDRANT
- ELECTROLIER
- CURB INLETS
- ELECTRICAL
- GAS
- TELECOM
- CATV
- BROADBAND
- TRANSFORMER
- GRADING STRIP



SCALE 1" = 20'



DRAWN BY: RP  
 DATE: MARCH 20, 2019  
 REVISED: MAY 24, 2019

**1254 SEPHOS STREET**  
 APN: 226-520-43

**OLEANDER ESTATES**  
 UNIT NO. 4

DUE TO THE UNIQUE CONDITIONS OF THIS LOT, THE BUYER HAS WALKED AND APPROVED THE SITE. SPOT ELEVATIONS ARE APPROXIMATE. CURB DRAIN LOCATIONS AND FINAL GRADING CONDITIONS MAY VARY. THE INFORMATION ON THIS PLOT PLAN IS PROVIDED FOR YOUR CONVENIENCE AS A GUIDE TO THE GENERAL LOCATION OF THE SUBJECT PROPERTY. THE ACCURACY OF THIS PLOT PLAN IS NOT GUARANTEED, NOR IS IT A PART OF ANY POLICY, REPORT OR GUARANTEE TO WHICH IT MAY BE ATTACHED. ACTUAL DIMENSIONS MAY VARY OR CHANGE WITHOUT PRIOR NOTICE DUE TO ACTUAL SITE CONDITIONS. UTILITY BOXES AND TRANSFORMERS MAY BE MOVED OR ADDED AT THE DISCRETION OF THE UTILITY COMPANIES.

FLOOR PLAN: 1955 - "B"	LIVING SPACE: 1,955 S.F.	GARAGE SPACE: 467 S.F.
PORCH SPACE: 61 S.F.	LOT COVERAGE: 2,845 S.F.	LOT COVERAGE AREA: 43.1%
FRONT YARD: 903 S.F.	OPTIONS: SHOP AT GARAGE	

**RAYMUS HOMES**  
 THE NEXT GENERATION

RAYMUS HOMES  
 1433 MOFFAT BLVD.  
 SUITE 13, P.O. BOX 2188  
 MANTECA, CA 95336  
 TEL : ( 209 ) 824 - 3080

**MCR ENGINEERING**  
 www.mcreng.com

MCR ENGINEERING, INC.  
 1242 DUPONT COURT  
 MANTECA, CA 95336  
 TEL : ( 209 ) 239 - 6229  
 FAX : ( 209 ) 239 - 8839

BY SIGNING THIS, I AFFIRM THAT I HAVE PHYSICALLY WALKED THIS HOME SITE

BUYER'S SIGNATURE: \_\_\_\_\_ DATE \_\_\_\_\_ BUYER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

# Oleander Estates #4 Manteca

1,955 Square Feet  
Four Bedrooms Two Baths



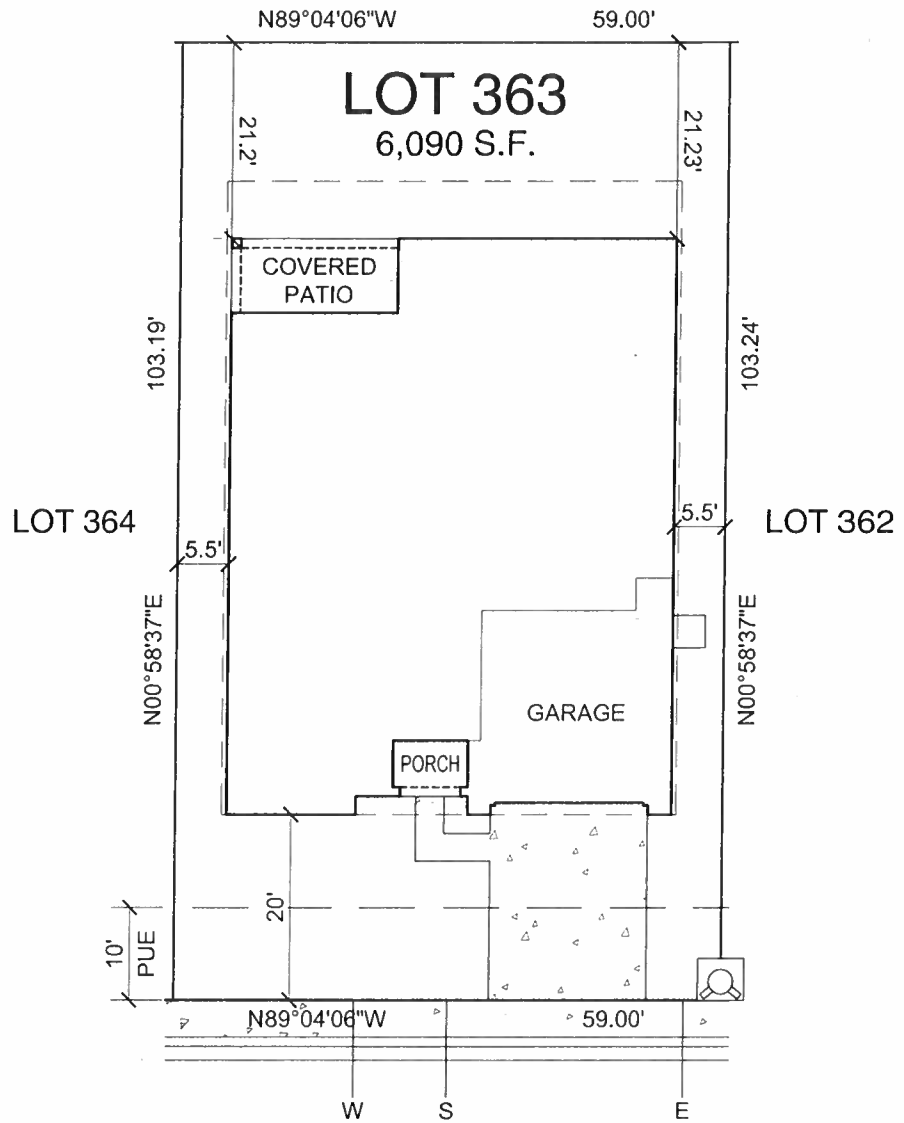
Elevation B

**LEGEND**

- PUBLIC UTILITY EASEMENT PUE
- WATER SERVICE — W
- SEWER SERVICE — S
- ELECTRICAL SERVICE — E
- FIRE HYDRANT
- ELECTROLIER
- CURB INLETS
- ELECTRICAL
- GAS
- TELECOM
- CATV
- BROADBAND
- TRANSFORMER
- GRADING STRIP



SCALE 1' = 20'



DRAWN BY: RP  
 DATE: MARCH 20, 2019  
 REVISED: MAY 29, 2019

**1260 SEPHOS STREET**  
 APN: 226-520-42

**OLEANDER ESTATES**  
 UNIT NO. 4

DUE TO THE UNIQUE CONDITIONS OF THIS LOT, THE BUYER HAS WALKED AND APPROVED THE SITE. SPOT ELEVATIONS ARE APPROXIMATE. CURB DRAIN LOCATIONS AND FINAL GRADING CONDITIONS MAY VARY. THE INFORMATION ON THIS PLOT PLAN IS PROVIDED FOR YOUR CONVENIENCE AS A GUIDE TO THE GENERAL LOCATION OF THE SUBJECT PROPERTY. THE ACCURACY OF THIS PLOT PLAN IS NOT GUARANTEED, NOR IS IT A PART OF ANY POLICY, REPORT OR GUARANTEE TO WHICH IT MAY BE ATTACHED. ACTUAL DIMENSIONS MAY VARY OR CHANGE WITHOUT PRIOR NOTICE DUE TO ACTUAL SITE CONDITIONS. UTILITY BOXES AND TRANSFORMERS MAY BE MOVED OR ADDED AT THE DISCRETION OF THE UTILITY COMPANIES.

FLOOR PLAN: <u>2281 - "A"</u>	LIVING SPACE: <u>3,241 S.F.</u>	GARAGE SPACE: <u>457 S.F.</u>
PORCH SPACE: <u>48 S.F.</u>	LOT COVERAGE: <u>3,140 S.F.</u>	LOT COVERAGE AREA: <u>51.6%</u>
FRONT YARD: <u>810 S.F.</u>	OPTIONS: <u>UPPER FLOOR GUEST SUITE / BONUS ROOM</u>	

**RAYMUS**  
 HOMES  
 THE NEXT GENERATION

RAYMUS HOMES  
 1433 MOFFAT BLVD.  
 SUITE 13, P.O. BOX 2188  
 MANTECA, CA 95336  
 TEL : ( 209 ) 824 - 3080

**MCR**  
 ENGINEERING  
[www.mcreng.com](http://www.mcreng.com)

MCR ENGINEERING, INC.  
 1242 DUPONT COURT  
 MANTECA, CA 95336  
 TEL : ( 209 ) 239 - 6229  
 FAX : ( 209 ) 239 - 8839

BY SIGNING THIS, I AFFIRM THAT I HAVE PHYSICALLY WALKED THIS HOME SITE

BUYER'S SIGNATURE: \_\_\_\_\_ DATE \_\_\_\_\_ BUYER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

# Oleander Estates #4 Manteca

2,281 Square Feet

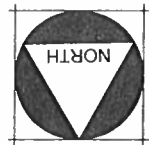
Three Bedrooms Two and One Half Baths



Elevation A

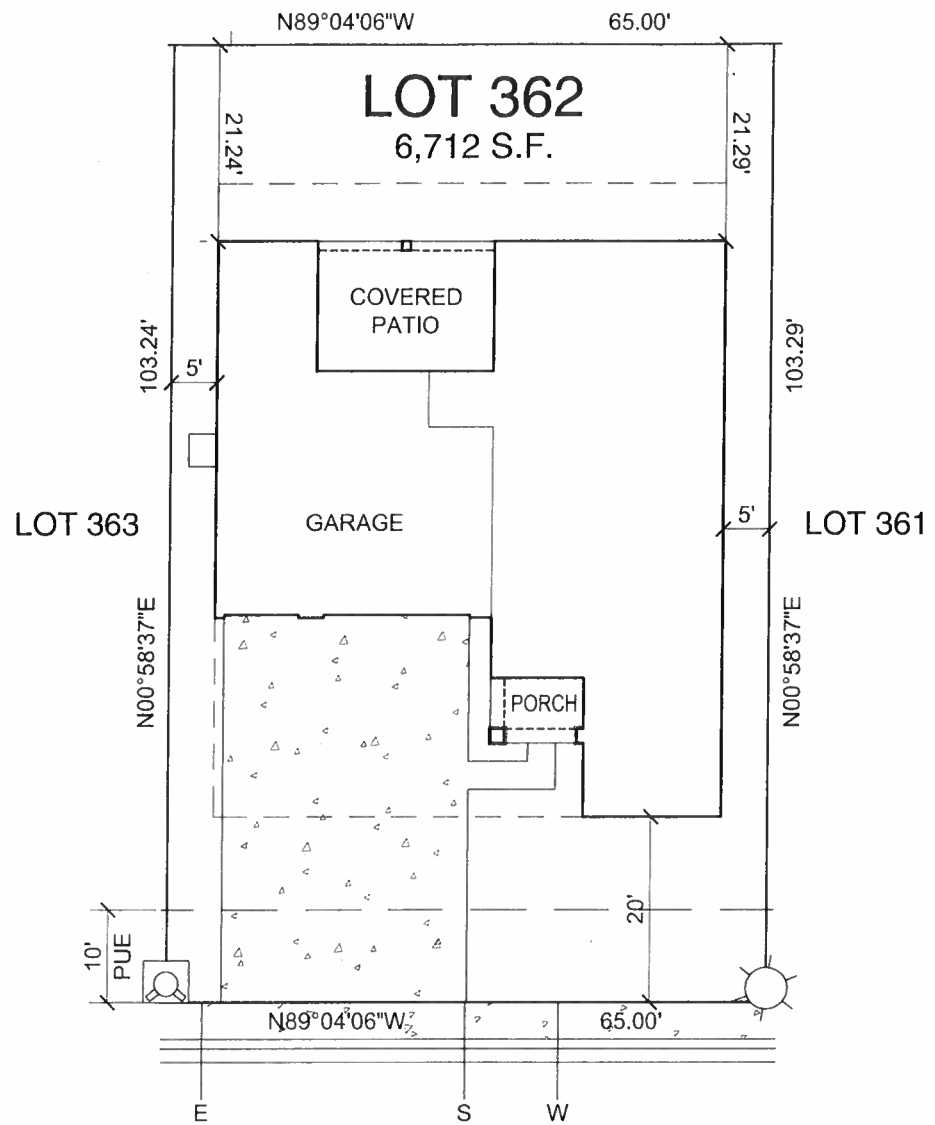
**LEGEND**

- PUBLIC UTILITY EASEMENT PUE
- WATER SERVICE W
- SEWER SERVICE S
- ELECTRICAL SERVICE E
- FIRE HYDRANT
- ELECTROLIER
- CURB INLETS
- ELECTRICAL E
- GAS G
- TELECOM T
- CATV C
- BROADBAND B
- TRANSFORMER
- GRADING STRIP



SCALE 1" = 20'

DRAWN BY: RP  
 DATE: MARCH 20, 2019  
 REVISED: MAY 10, 2019



**1272 SEPHOS STREET**

APN: 226-520-41

**OLEANDER ESTATES  
 UNIT NO. 4**

DUE TO THE UNIQUE CONDITIONS OF THIS LOT, THE BUYER HAS WALKED AND APPROVED THE SITE. SPOT ELEVATIONS ARE APPROXIMATE. CURB DRAIN LOCATIONS AND FINAL GRADING CONDITIONS MAY VARY. THE INFORMATION ON THIS PLOT PLAN IS PROVIDED FOR YOUR CONVENIENCE AS A GUIDE TO THE GENERAL LOCATION OF THE SUBJECT PROPERTY. THE ACCURACY OF THIS PLOT PLAN IS NOT GUARANTEED, NOR IS IT A PART OF ANY POLICY, REPORT OR GUARANTEE TO WHICH IT MAY BE ATTACHED. ACTUAL DIMENSIONS MAY VARY OR CHANGE WITHOUT PRIOR NOTICE DUE TO ACTUAL SITE CONDITIONS. UTILITY BOXES AND TRANSFORMERS MAY BE MOVED OR ADDED AT THE DISCRETION OF THE UTILITY COMPANIES.

FLOOR PLAN: 2792 - "C"      LIVING SPACE: 3,349 S.F.      GARAGE SPACE: 904 S.F.  
 PORCH SPACE: 70 S.F.      LOT COVERAGE: 2,590 S.F.      LOT COVERAGE AREA: 38.6%  
 FRONT YARD: 767 S.F.      OPTIONS: BONUS ROOM, 4-CAR GARAGE WITH PATIO, COVERED BALCONY

**RAYMUS HOMES**  
 THE NEXT GENERATION  
 RAYMUS HOMES  
 1433 MOFFAT BLVD.  
 SUITE 13, P.O. BOX 2188  
 MANTECA, CA 95336  
 TEL : ( 209 ) 824 - 3080

**MCR ENGINEERING**  
 MCR ENGINEERING, INC.  
 1242 DUPONT COURT  
 MANTECA, CA 95336  
 TEL : ( 209 ) 239 - 6229  
 FAX : ( 209 ) 239 - 8839  
 www.mcreng.com

BY SIGNING THIS, I AFFIRM THAT I HAVE PHYSICALLY WALKED THIS HOME SITE

BUYER'S SIGNATURE: \_\_\_\_\_

DATE \_\_\_\_\_

BUYER'S SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

# Oleander Estates #4 Manteca

2,792 Square Feet  
Four Bedrooms      Three & One Half Baths



Elevation C