



CITY OF MANTECA

COMMUNITY DEVELOPMENT
DEPARTMENT

February 14, 2019

Anthem United
ATTN: Kevin Sheley
3001 Douglas Blvd., Suite 200
Roseville, CA 95661

SUBJECT: SHADOWBROOK HOMES CONSTRUCTION TRAILER TUP-19-018

Dear Applicant:

The City of Manteca Planning Division has reviewed your Temporary Use Permit application for a temporary construction trailer. Your project application has been approved with the following conditions:

Planning Division

1. The Temporary Use Permit is only valid for the following dates: February 14, 2019 until the final home is constructed for the Shadowbrook Homes Development.
2. All related debris shall be removed from the site upon termination of the use.
3. Emergency vehicle access shall be maintained at all times.
4. All on site landscape shall be maintained by property owner.
5. Developer shall obtain permits to meet the requirements of Model Water Efficiency Landscaping Ordinance.
6. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
7. Utility Companies: The applicant is responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
8. Fees: Developer shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

Building Safety Division

9. Developer shall obtain building permit for the temporary power pole.

If you have questions or if you need supplemental information regarding this letter, please contact Development Services Technician Toben Barnum at (209) 456-8517 or tbarnum@ci.manteca.ca.us.

Sincerely,

for:  II
Greg Showerman
Community Development Director



TEMPORARY USE PERMIT APPLICATION

CITY OF MANTECA, COMMUNITY DEVELOPMENT DEPARTMENT
1001 W. CENTER ST., MANTECA, CA 95337, (209)456-8500
planning@ci.manteca.ca.us

Applicant Info	Property Owner Info
Name: <u>KEVIN SHELEY</u>	Name: <u>ANTHEM UNITED</u>
Address: <u>3001 DOUGLAS BLVD. #200</u>	Address: <u>3001 DOUGLAS BLVD. #200</u>
City/State/Zip: <u>ROSEVILLE, CA 95661</u>	City/State/Zip: <u>ROSEVILLE, CA. 95661</u>
Home Telephone: _____	Home Telephone: _____
Mobile No.: <u>916-343-2134</u>	Mobile No.: <u>916-343-2134</u>
E-mail Address: <u>KSHELEY@ANTHEMUNITED.COM</u>	E-mail Address: <u>KSHELEY@ANTHEMUNITED.COM</u>
Fax No.: _____	Fax No.: _____

Event Info
Business Name: <u>ANTHEM UNITED</u>
Event Hours: Days: <u>FEB. 2019 - APRIL 2021</u> Hours: <u>M-F 6:00AM - 4:00PM</u>
Event Location: <u>NEIGHBORHOOD 3 WITHIN SHADOW BROOKS MASTER PLAN, LOT 189, 769 VICTORIA DR. (682 SOUTHLAND)</u>
Description of Event/ Activities: <u>TEMPORARY CONSTRUCTION TRAILER (32' X 8') SET ON GRADE. NO PUBLIC ACCESS AND NO RAMP, STAIRS ONLY. WE WILL HAVE A 200 AMP TEMP POWER POLE. NO WATER, NO SEWER.</u>

Statement of Ownership or Authorization of Agent (Check one item)

, the undersigned, am (one of) the legal owner(s) of the land specified in this application.

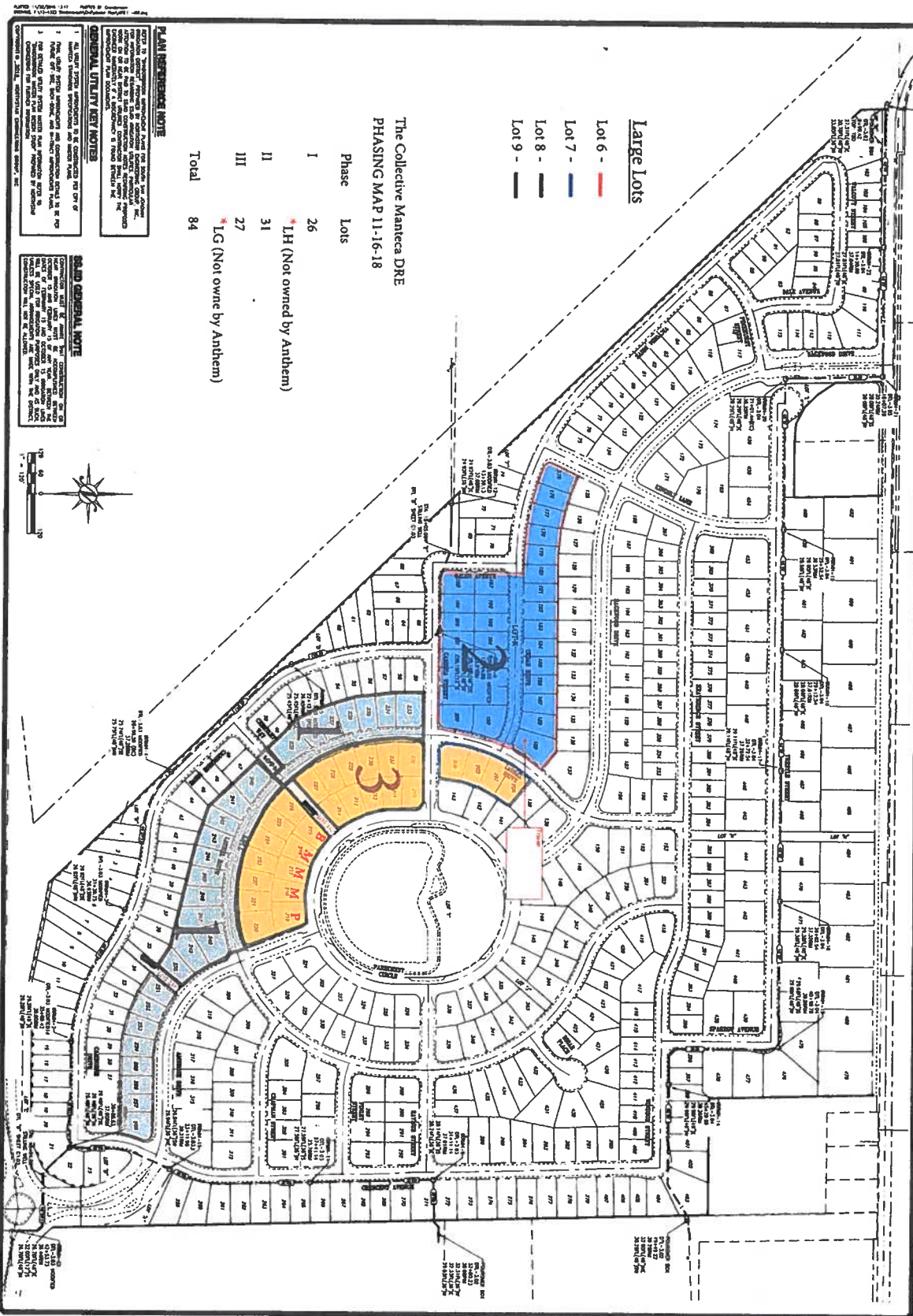
I, do hereby authorized and empower KEVIN SHELEY (agent) to act on my behalf on all matters relating to this application.

<u>[Signature]</u> Property Owner Signature	<u>MATT GUSTUS</u> Print Name	<u>1-15-2019</u> Date
<u>3001 DOUGLAS BLVD. #200</u> Address	<u>ROSEVILLE, CA. 95678</u> City, State, Zip	<u>916-960-0240</u> Telephone

In making this application, the undersigned agrees that the above information is true and that all conditions will be met.

<u>[Signature]</u> Applicant Signature	<u>KEVIN SHELEY</u> Print Name	<u>1/15/19</u> Date
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OFFICE USE ONLY		
Fee: \$568	Receipt No.: <u>2019-00157118</u>	Date Received: <u>1/29/19</u>
+ \$250 Cleaning Deposit Required. (Christmas tree Lots Only *Send copy of Approved TUP to Superintendent at Solid Waste)		
Approved: <u>X</u>	Denied: _____	
Planner Signature: <u>[Signature]</u>	Date <u>2/13/19</u>	
Assessor's Parcel No. (APN): <u>218-130-23</u>	Application Number: <u>TUP 19-018</u>	



The Collective Manteca DRE
PHASING MAP 11-16-18

Phase	Lots
I	26
II	31
III	27
Total	84

* LH (Not owned by Anthem)
 * LG (Not owned by Anthem)

- Large Lots
- Lot 6 - —
 - Lot 7 - —
 - Lot 8 - —
 - Lot 9 - —

PLAN REFERENCE NOTE

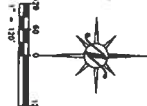
SEE THE PREVIOUS PHASING MAP FOR THE PHASES OF THIS PROJECT. THIS PHASING MAP IS A PART OF THE DEVELOPMENT PLAN AND IS SUBJECT TO THE APPROVAL OF THE CITY OF MANTECA. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MANTECA AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MANTECA AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.

GENERAL UTILITY KEY NOTES

1. ALL UTILITY LINES SHOWN ON THIS MAP ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. THE DEVELOPER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MANTECA AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.

SLAB GENERAL NOTE

CONCRETE SLAB SHALL BE 12" THICK WITH 4" MINIMUM COVER. ALL REINFORCING SHALL BE #4 BARS. ALL JOINTS SHALL BE REINFORCED WITH 2" MINIMUM COVER. ALL JOINTS SHALL BE REINFORCED WITH 2" MINIMUM COVER. ALL JOINTS SHALL BE REINFORCED WITH 2" MINIMUM COVER.



MP8.1

DATE: _____

SCALE: _____

NorthStar
Engineering Group, Inc.
2700 E. Highway 99, Suite 100
Manteca, CA 95337
(916) 835-8377 Fax: (916) 835-8378

IRRIGATION PLAN

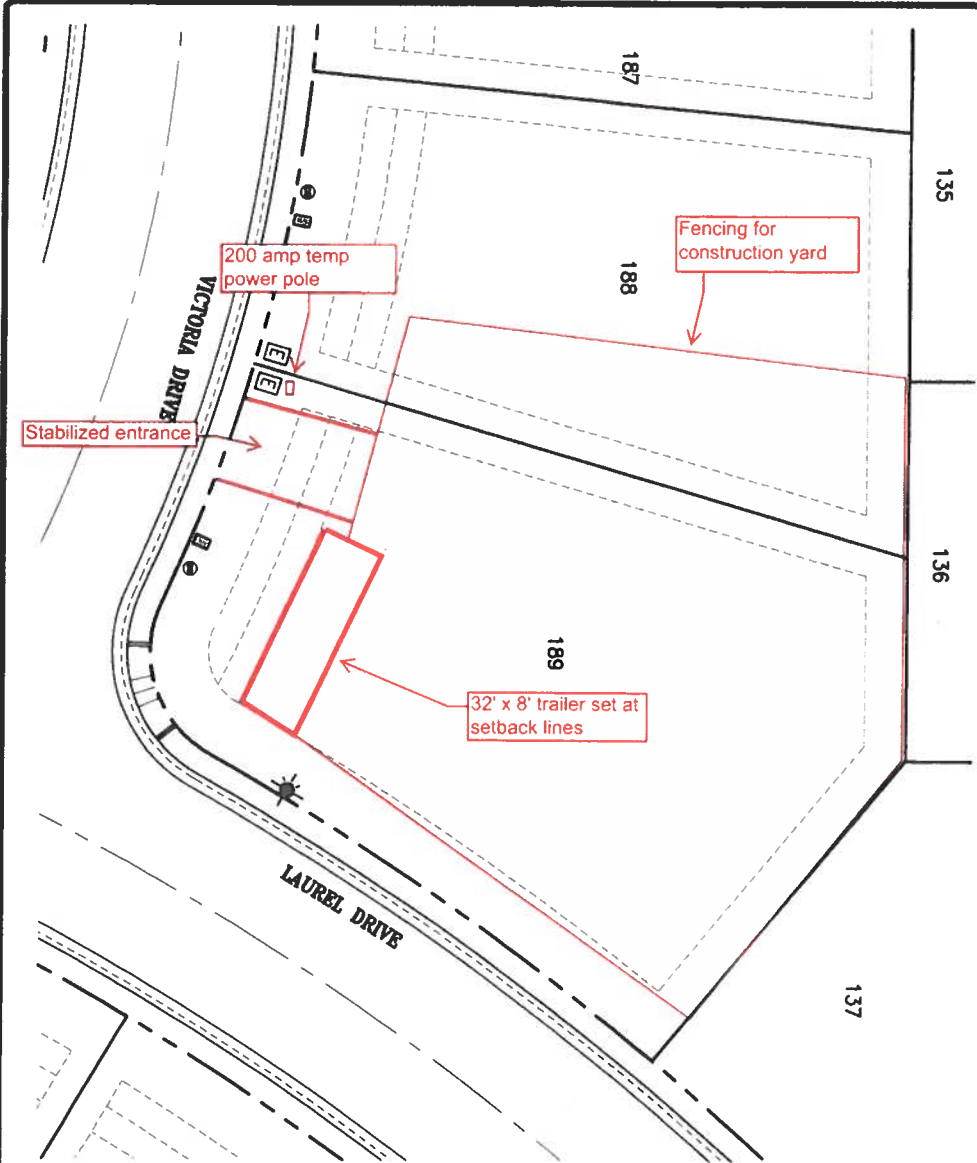
MASTER PLANS FOR SHADOWBROOK

MANTECA, CALIFORNIA

NO.	REVISIONS	BY	DATE

SHADOWBROOK NEIGHBORHOOD 3 TRULIVING COMMUNITY SITE PLAN FOR LOTS 188 AND 189

JANUARY 2, 2019



GENERAL NOTES

1. 20' GARAGE SETBACK
2. 15' FRONT YARD SETBACK
3. 10' PORCH SETBACK
4. *7' REAR YARD SETBACK
5. 10' STREET SIDE YARD SETBACK
6. 5' SIDE YARD SETBACK
7. SETBACKS ARE PER "THE COLLECTIVE ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES", REVISED SEPTEMBER 2018.
8. MAXIMUM LOT COVERAGE = 60% ONE STORY, 50% TWO STORY

*AVERAGE IS ALLOWED. REAR SETBACK OF 7' MINIMUM WITH AN AVERAGE OF 12'. CALIFORNIA ROOMS (COVERED PATIO), DEFINED AS A ROOFED AREA THAT IS OPEN ON TWO SIDES, SHALL NOT BE CONSIDERED IN THE REAR SETBACK AVERAGE. PLANS WITH 7' REAR MINIMUM SETBACKS SHALL NOT BE PLOTTED ON LOTS BACK TO BACK; THE TOTAL MINIMUM DISTANCE BETWEEN BUILDINGS AT THE REAR YARD WILL BE 17'



LEGEND	
	RIGHT OF WAY LINE
	LOT LINE
	STANDARD SETBACK LINE
	CENTERLINE
	ELECTRICAL SERVICE
	WATER SERVICE
	SEWER SERVICE
	STREET LIGHT

NorthStar
 Engineering Group, Inc.
 • CIVIL ENGINEERING • SURVEYING • PLANNING •
 630 121st Street
 Redding, CA 96004
 (209) 524-3535 Phone (209) 524-3528 Fax

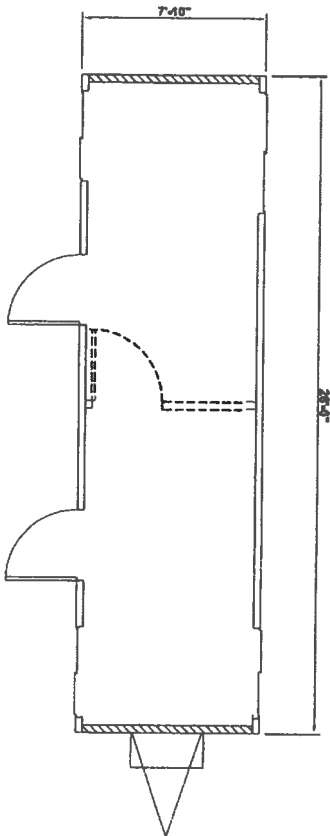


An ALBERTO SCOTSMAN Company

800.782.1500

www.willscot.com

MO328
Mobile Office
Floor Plan



Specifications

Size

- 22' Long (including hitch)
- 28' Box size
- 8' Wide nominal
- 7'-6\" Ceiling height nominal

Interior Finish

- Paneled walls
- Vinyl tile floors
- Grid ceiling

Electric

- Fluorescent ceiling lights
- 110/240 volt single phase electric
- 100 AMP breaker panel
- Windows/Doors
- Horizontal slider windows
- Std doors w/ vision panel, and lockset

Exterior Finish/Frames

- Wood siding & trim
- L-Beam outrigger frame
- Standard drip rail gutters
- Heating & Cooling
- Wall mount HVAC

Additional floor plans available. Floor plans and specifications may vary from those shown and are subject to in-stock availability.



THE USE OF THIS DRAWING FOR ANY OTHER THAN THE ORIGINAL INTENDED PURPOSE IS NOT AUTHORIZED WITHOUT THE WRITTEN CONSENT OF AN AUTHORIZED WILLIAMS SCOTSMAN REPRESENTATIVE.
WILLIAMS SCOTSMAN, INC. All Rights Reserved.

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL CONSTRUCTION SHALL CONFORM TO SPECIFICATION FOR STRUCTURAL STEEL BUILDING - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN OF AISC, LATEST EDITION.
2. ALL FABRICATION SHALL COMPLY WITH CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, LATEST EDITION, AS PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
3. UNLESS NOTED OTHERWISE, STRUCTURAL STEEL SHALL CONFORM TO ASTM A500/A572-50 OR ASTM A50 GRADE B, MIN $F_y = 50$ ksi.
4. STEEL BASE PLATES SHALL CONFORM TO ASTM A36, MIN $F_y = 36$ ksi.
5. BEAMS WITHOUT STRENGTHENED CAMBER ARE TO BE FABRICATED SUCH THAT AFTER ERECTION ANY CAMBER DUE TO ROLLING OR SHOP FABRICATION IS UPWARD AT MIDSPAN.

STRUCTURAL WELDING

1. ALL STRUCTURAL WELDING MUST BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE AMERICAN WELDING SOCIETY.
2. THE FABRICATOR/CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALIFICATION OF WELDERS, WELDING OPERATORS AND TACK WELDERS.
3. EACH WELDER'S QUALIFICATION RECORD SHALL BE KEPT BY THE FABRICATOR/CONTRACTOR AND AVAILABLE FOR IMMEDIATE VERIFICATION.
4. WELDING PROCEDURES SHALL BE FORMULATED FOR ALL TYPES OF WELDS.
5. ALL WELDING ELECTRODES MUST BE PROPERLY PACKAGED AND STORED PRIOR TO USAGE. UPON REMOVAL FROM PACKAGE/STORAGE, ELECTRODES MUST BE PROPERLY HANDLED AND USED DURING THEIR PERMISSIBLE EXPOSURE TIME.
6. WELDING CONDITIONS MUST MEET ALL AWS SPECIFICATIONS FOR EACH WELD PROCEDURE AND WELD TYPE, INCLUDING BUT NOT LIMITED TO: AMBIENT TEMPERATURE, EXPOSED SURFACES, HIGH WIND SPEEDS AND ALL OTHER RELEVANT CONDITIONS.
7. STEEL MUST BE PREPARED AS PER THE WELDING FIELD PROCEDURES, SMOOTH, UNIFORM, FREE FROM ALL FIBES, GREASE, MOISTURE, RUST AND FOREIGN MATERIAL.
8. WELDS SHALL CONFORM TO STRUCTURAL WELDING CODE OF THE AMERICAN WELDING SOCIETY, AWS D1.1. USE EPOXY ELECTRODES. ALL WELDERS TO BE CERTIFIED BY AWS STRAWHARDS.
9. GRIND EXPOSED FULL PENETRATION WELDS SMOOTH TO MATCH AND BLEND WITH ADJOINING SURFACE.

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- S8 FOUNDATION - OPTION D

FOUNDATION OPTIONS

- FOUNDATION OPTIONS MAY VARY BASED ON THE TERRITORY/LOCATION WHERE THE PUMP IS TO BE INSTALLED. FOUNDATION OPTION IS DETERMINED BY SEISMIC, WIND AND SOIL CONDITIONS. CHOOSE THE FOUNDATION OPTION THAT APPLIES TO YOUR GEOLOGICAL ZONE.
1. OPTION A-A
 - FOR SEISMIC ZONE EQUAL TO OR LESS THAN SONGS OR WIND SPEED OF 120 MPH: CONCRETE PAVEMENT 4" OR THICKER, USE 10" STEEL BASE PLATE WITH TWO 1" TYPICON CONCRETE ANCHORS PER LEG SUPPORT (SEE PAGE 55 BASE OPTION A).
 - FOR SEISMIC ZONE GREATER THAN SONGS OR WIND SPEED GREATER THAN 120 MPH: CONCRETE PAVEMENT 4" OR THICKER, USE MINUTE FRAMING PRODUCTS CONCRETE THE DOWNNS ANCHORED TO CONCRETE AND TO QUICK-DECK MAIN FRAME (SEE PAGE 59).
 1. OPTION B
 - FOR SEISMIC ZONE EQUAL TO OR LESS THAN SONGS OR WIND SPEED OF 120 MPH: ASPHALTIC PAVEMENT, EARTH OR STONE BASE, USE 10" DIAMETER PLASTIC PAD, 4"x4" STEEL BASE PLATE WITH TWO 1/2" REBAR GROUND SPIKE PER LEG SUPPORT (SEE PAGE 55 BASE OPTION B).
 2. OPTION C
 - FOR SEISMIC ZONE EQUAL TO OR LESS THAN SONGS OR WIND SPEED OF 120 MPH: CONCRETE LESS THAN 4" THICK BUT MORE THAN 2" THICK, USE 10" DIAMETER PLASTIC PAD, 4"x4" STEEL BASE PLATE WITH TWO 1" TYPICON CONCRETE ANCHORS PER LEG SUPPORT (SEE PAGE 55 BASE OPTION C).
 3. OPTION D
 - FOR SEISMIC ZONE GREATER THAN SONGS OR WIND SPEED OF 120 MPH: SOFT OR SANDY SOIL: USE 10" DIAMETER PLASTIC PAD, 4"x4" STEEL BASE PLATE AND CROSS DRIVE THE DOWN EVERY 12" ON CENTER AT MAIN FRAME CONNECTION (SEE PAGE 55 BASE OPTION D).
 4. OPTION E
 - FOR SEISMIC ZONE GREATER THAN SONGS OR WIND SPEED OF 120 MPH: USE 10" DIAMETER PLASTIC PAD, 4"x4" STEEL BASE PLATE AND CROSS THE DOWN EVERY 12" ON CENTER AT MAIN FRAME CONNECTION (SEE PAGE 55 BASE OPTION D).

GENERAL NOTES

1. APPROXIMATE COORDINATES USE AS FOLLOWS:
 - 11. INTERNATIONAL BUILDING CODE (IBC) DATED 2012
 - 12. IBC DATED 2015
 - 13. IBC DATED 2018
 - 14. IBC DATED 2021
 - 15. CALIFORNIA BUILDING CODE DATED 2019
 - 16. LOS ANGELES BUILDING CODE DATED 2019
2. THE DRAWINGS SUBMITTED ARE REPRESENTATIVE OF THE "QUICK-DECK" TEMPORARY MODULAR PLATFORM SYSTEM. THE SYSTEM PROVIDES ACCESS TO TEMPORARY CONSTRUCTION TRAILERS AND/OR TEMPORARY MODULAR BUILDINGS. QUICK-DECK IS A PATENTED (PENDING), PRE-ENGINEERED SYSTEM OF BEAMS, RAFTERS, STUBS AND RAILINGS. QUICK-DECK IS DESIGNED TO BOLT TOGETHER IN THE FIELD WITH NO ELECTRICAL POWER OR CONCRETE POURING.
3. ALL STRUCTURAL, RAIL AND DECK COMPONENTS WILL BE GALVANIZED STEEL.
4. STRUCTURAL LOADS
 - 4.1. LIVE LOAD: 100 psf
 - 4.2. HANGERS AND CHAINS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OR 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP AND TO TRAVELERS AND THROUGH THE SUPPORTS TO THE STRUCTURE. THIS LOAD NEED NOT BE ASSIGNED TO ACT CONCURRENTLY WITH THE OTHER LOADS SPECIFIED.
 - 4.3. INTERMEDIATE RAILS AND FILL: THOSE EXCEPT HANGERS, RAILS AND FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT, INCLUDING OPERATORS AND SPACE BETWEEN RAILS. THIS LOAD NEED NOT BE ASSIGNED TO ACT CONCURRENTLY WITH THE OTHER LOADS SPECIFIED.
5. ELECTRICAL GROUNDING - BY OTHERS AS REQUIRED BY CODE OR LOCAL REQUIREMENTS
6. HANGERS
 - 6.1. 8"x8" BALLBEARS @ 4' OC AND 1-1/2" SQUARE HANGERS, POSTS RESULT IN THE HANGERS OBTAINING BEING LESS THAN 17% LESS THAN THE 20% HANGERS CONSTRUCTION REQUIRED BY ANSI A-17.1.
 - 6.2. THE 1-1/2"x1-1/2" SQUARE HANGERS COMBLES WITH THE CODE HANGERS 1-1/2" DIMENSION AND HAS A PERMITS OF 8" WHICH IS LESS WITHIN THE CODE REQUIRED PERMITS RANGE OF 4" TO 8-1/2".
 - 6.3. HANGERS EXTENSIONS FOR RAILS AND STUBS TO BE 12" MINIMUM AT TOP AND BOTTOM OF RAILS. EXTENSION ANGLE AT BOTTOM OF STUBS AND LANDING TO FOLLOW THE SLOPE PER CODE REQUIREMENTS.



Shed Name:
GENERAL NOTES &
TABLE OF CONTENTS
S1

QUICK-DECK
California Standard
Model Number QD17-17



Salvatore R. Granata, P.E., C.E.
Professional Engineer
Professional Engineer
Professional Engineer

QUICK-DECK, INC.
131 PINE FOREST DRIVE
LOCUST, NC
704-688-6327
EMAIL: jwintz@quick-deck.com

PLASTIC GROUND PAD CUT SHEET



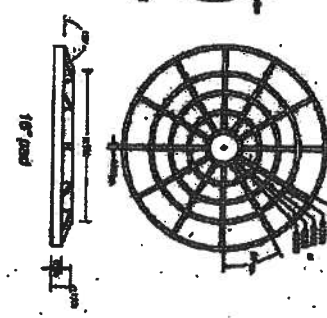
Quick-Deck, Inc. 11500 S. Highway 101, Suite 100, Raleigh, NC 27615
 Phone: 704-888-0327 Fax: 704-888-0328
 25000 Woodloch Trail • Independence, CA 92059

SPECIFICATIONS

Table 1: Standard Pad Assembly Layers

Layer	Material	Thickness	Notes
1	Standard Pad	1/2" (12.5mm)	See drawing S4 for details
2	Concrete	2" (50mm)	See drawing S4 for details
3	1" Diameter Plastic Ground Pad	1" (25mm)	See drawing S4 for details
4	7/8" Steel Base Plate	7/8" (22mm)	See drawing S4 for details
5	1-1/2" x 1-1/2" Galvanized Steel Adjustable Support Leg	1-1/2" (38mm)	See drawing S4 for details

- Standard:**
- 1-1/2" x 1-1/2" Galvanized Steel Adjustable Support Leg
 - 7/8" Steel Base Plate
 - 1" Diameter Plastic Ground Pad
 - 1/2" Standard Pad
 - 2" Concrete
- Optional:**
- 1/2" Standard Pad
 - 1" Diameter Plastic Ground Pad
 - 1" Concrete
 - 1" Standard Pad
 - 1" Concrete



OPTION D - THE ONLY SYSTEM TO BE AS MANUFACTURED BY QUICK-DECK, INC. OR EAST PLAT FLOOR, INC. AS SHOWN ON CUT SHEET OR DRAWING SHEET S4

BASE OPTION A-1: LOW WIND AND SEISMIC (SIMILAR TO OPTION D)

BASE OPTION A-2: HIGH WIND AND/OR SEISMIC

BASE OPTION B

BASE OPTION C

BASE OPTION D

LEG BASE PLATE DETAILS

2

Salvatore R. Granata, P.E., C.E.

QUICK-DECK, INC.
 131 PINE FOREST DRIVE
 LOCUST, NC
 704-888-0327
 EMAIL: jwintz@quick-deck.com

MATERIAL INDEX: COMPONENTS AND SPECIFICATIONS

ITEM	DESCRIPTION	QTY	UNIT	REMARKS
1	WINDUPE	18	EA	18 EA 1/2" DIA
2	WINDUPE	18	EA	18 EA 1/2" DIA
3	SURFACE PANEL - EMBOSSED	18	EA	18 EA 1/2" DIA
4	STAIRHEAD SECTION	18	EA	18 EA 1/2" DIA
5	STAIR HEAD	18	EA	18 EA 1/2" DIA
6	STANCHION	18	EA	18 EA 1/2" DIA
7	ROUNDABOUT STANCHION	18	EA	18 EA 1/2" DIA
8	STANCHION EXTENSION	18	EA	18 EA 1/2" DIA
9	SCREW JACK LEG	18	EA	18 EA 1/2" DIA
10	SPEED LEG	18	EA	18 EA 1/2" DIA
11	TUBE LEG	18	EA	18 EA 1/2" DIA
12	DISPUSER	18	EA	18 EA 1/2" DIA
13	WALK SPOKE	18	EA	18 EA 1/2" DIA
14	BARRY RAIL	18	EA	18 EA 1/2" DIA
15	HANDRAIL	18	EA	18 EA 1/2" DIA
16	RAIL RAIL	18	EA	18 EA 1/2" DIA
17	ROUNDABOUT	18	EA	18 EA 1/2" DIA
18	ROUNDABOUT RAIL	18	EA	18 EA 1/2" DIA
19	FRAME SPACER	18	EA	18 EA 1/2" DIA
20	BOLT SET	18	EA	18 EA 1/2" DIA
21	GROUND PEG	18	EA	18 EA 1/2" DIA
22	GROUND SPIKE	18	EA	18 EA 1/2" DIA
23	POST CAP	18	EA	18 EA 1/2" DIA
24	STAIR RAIL	18	EA	18 EA 1/2" DIA
25	STAIR/ACORN CORNER	18	EA	18 EA 1/2" DIA
26	CLIP	18	EA	18 EA 1/2" DIA

MATERIAL SPECIFICATIONS

STEEL
 All steel shall be A572 Gr 50, hot rolled, both clean and galvanized.
PAINT
 All steel shall be painted with a two part epoxy and primer.
FASTENERS
 All bolts shall be A325 Gr 5, hex head.
WELDING
 All welds shall conform to criteria set forth by the American Welding Society.

SYSTEM COMPONENTS

LEG FOOTINGS
 Refer to "Foundation Options" and "S-3 Foundation Option".
LEG
 Large comes in increments of 12" up to 8 ft, and have 12" of polyurethane foam on top and bottom. The top leg is 12" high and 12" wide. The bottom leg is 12" high and 12" wide. The legs are attached to the ground with a concrete footing.
SCREW JACK LEGS
 Screw Jack Legs are adjustable and require no safety features. Used for decking under 8' high.
FRAMES
 Frames are welded together. Multiple frames are bolted together to create a ramp segment and/or deck. Frames come in three sizes: 48" x 48", 48" x 72", and 72" x 72". Frames are pre-galvanized 18 gauge. One beam center on 30" or less.
SPACERS
 Spacers bolt to the main frame. Pre-galvanized 18 gauge. Spacers come in two sizes: 6" high and 6" x 12". Spacers are used to create a 6" gap between the main frame and the ground.
ROUNDABOUTS
 Roundabouts are 12" high and 12" wide. They are attached to the ground with a concrete footing.
STAIRS
 Stairs are 12" high and 12" wide. They are attached to the ground with a concrete footing.
RAILS
 RAILS are 12" high and 12" wide. They are attached to the ground with a concrete footing.



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QUICK-DECK
 MATERIAL INDEX

QUICK-DECK
 California Standard
 Model Number: QD-100



Salvatore R. Granata P.E., C.F.E.
 License No. 10000
 License No. 10000

QUICK-DECK, INC.
 131 PINE FOREST DRIVE
 LOCUST, NC
 704-888-0327
 EMAIL: jwintz@quick-deck.com



CITY OF MANTECA Community Development Department Project Referral/Routing

City Departments

- | | |
|--|---|
| <input checked="" type="checkbox"/> Engineering – Maribel Serrano | <input checked="" type="checkbox"/> Police Department - Scott Cunningham |
| <input checked="" type="checkbox"/> Building Department - Lumen Arceo | <input checked="" type="checkbox"/> Public Works – Koosun Kim |
| <input checked="" type="checkbox"/> Parks and Recreation -Michael Rosales | <input type="checkbox"/> City Attorney – John Brinton |
| <input checked="" type="checkbox"/> Fire Department -Lantz Rey | <input type="checkbox"/> Park and Recreation: Landscaping - Katie Reed |

Outside Agencies

- | | |
|---|---|
| <input type="checkbox"/> South San Joaquin Irrigation District (SSJID) | <input type="checkbox"/> City of Ripon |
| <input type="checkbox"/> San Joaquin County Multi-Species
Habitat Conservation | <input type="checkbox"/> City of Lathrop |
| <input type="checkbox"/> San Joaquin Council of Governments (SJCOG) | <input type="checkbox"/> Union Pacific Railroad |
| <input type="checkbox"/> San Joaquin County Environmental Health | <input type="checkbox"/> ALUC-Airport Land Use Commission |
| <input type="checkbox"/> San Joaquin County Public Works | <input type="checkbox"/> CA Dept. of Fish and Game |
| <input type="checkbox"/> San Joaquin County Community
Development Department | <input type="checkbox"/> CA Dept. of Conservation |
| <input type="checkbox"/> San Joaquin County LAFCo | <input type="checkbox"/> Dept. of Water Resources Control Board,
Water Quality |
| <input type="checkbox"/> Caltrans District 10 | <input type="checkbox"/> Native American Heritage Commission |
| <input type="checkbox"/> San Joaquin Valley Air Pollution Control
District | <input type="checkbox"/> U.S. Dept. of Fish and Wildlife Services |
| <input type="checkbox"/> San Joaquin Delta College,
Office of the President | <input type="checkbox"/> U.S. Army Corp. of Engineers |
| <input type="checkbox"/> Manteca Unified School District | <input type="checkbox"/> Federal Emergency Management Agency (FEMA) |
| <input type="checkbox"/> Ripon Unified School District | <input type="checkbox"/> U.S. Post Office |
| <input type="checkbox"/> Lathrop-Manteca Fire District | <input type="checkbox"/> Comcast Cable |
| <input type="checkbox"/> Ripon Consolidated Fire District | <input type="checkbox"/> Verizon |
| | <input type="checkbox"/> Pacific Gas and Electric |
| | <input type="checkbox"/> San Joaquin Bike Coalition |

Referral/Route Date: January 29, 2019

From: Toben Barnum, Development Services Technician (209) 456-8517, tbarnum@ci.manteca.ca.us

Project Description: TUP for a Temporary Construction Trailer (No public access)

Project Location: 708 Southland Rd, Lot 189, APN: 218-130-23

The Planning Division would appreciate your comments/conditions at the earliest possible date, but **no later than February 13, 2019**. Please submit your comments on a separate memo, or on the form provided on the back of this page. If possible, please email your comments to tbarnum@ci.manteca.ca.us in addition to submitting a hard copy. Contact **Toben Barnum** at **(209) 456-8517** if you have any questions.



PROJECT REFERRAL/ROUTING SHEET

DATE: 02/12/2019

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: ODD - ENGINEERING
(Department or Agency)

Contact Person: M. Serrano Phone: (209) 486 8584

Project Title: Temporary Use Permit 19-018 Shadowbrook Homes Construction Trailer

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 1/31/19

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: Bldg Safety
(Department or Agency)

Contact Person: Lumsen Phone: X8560

Project Title: Temporary Use Permit 19-018 Shadowbrook Homes Construction Trailer

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Memo

To: Toben Barnum, Development Services Technician
From: Lumen Arceo, Senior Plan Check Engineer
Date: January 31, 2019
Re: TUP 19—018 Shadowbrook Homes (Construction Trailer – No public access)

1. Developer shall obtain building permit for the temporary power pole.



PROJECT REFERRAL/ROUTING SHEET

DATE: 02/11/2019

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: Parks and Recreation Department
(Department or Agency)

Contact Person: Michael Rosales Phone: 456-8615

Project Title: Temporary Use Permit 19-018 Shadowbrook Homes Construction Trailer

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 2/13/14

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: File
(Department or Agency)

Contact Person: L. Rey Phone: x8347

Project Title: Temporary Use Permit 19-018 Shadowbrook Homes Construction Trailer

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

RECEIVED

JAN 31 2019

COMMUNITY DEVELOPMENT
DEPARTMENT

DATE: 1-30-19

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: P.D.
(Department or Agency)

Contact Person: S. Cunningham Phone: 8281

Project Title: Temporary Use Permit 19-018 Shadowbrook Homes Construction Trailer

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Barnum, Toben

From: Kim, Koosun
Sent: Wednesday, February 13, 2019 8:14 AM
To: Barnum, Toben
Subject: Task Completed: TUP 19-018 Shadowbrook Temporary Sales Trailer

Thank you,



Koosun Kim, PE, QSD
Deputy Director of Public Works - Engineering
City of Manteca | Public Works
1001 W. Center St. | Manteca, CA 95337
Office: 209.456-8419 | Fax: 209.923.8940
www.mantecagov.com

-----Original Task-----

Subject: TUP 19-018 Shadowbrook Temporary Sales Trailer
Priority: Normal

Start date: Tue 1/29/2019
Due date: Wed 2/13/2019

Status: Completed
% Complete: 100%
Date completed: Wed 2/13/2019
Actual work: 0 hours

Requested by: Barnum, Toben

No comment

Hardcopy to follow interoffice. Thank you.



Routing sheet -
TUP 19-018 Sha...



Toben Barnum, Development Services Technician
City of Manteca | Community Development Department
1001 W. Center St. | Manteca, CA 95337
Office: 209.456.8517 | Fax: 209.923.8949