



CITY OF MANTECA

COMMUNITY DEVELOPMENT DEPARTMENT

February 19, 2019

KB Home
ATTN: Charlotte Kyle
3005 Douglas Blvd, Ste 250
Roseville CA 95661

**SUBJECT: TEMPORARY USE PERMIT 19-019: MODEL COMPLEX AND TEMP SALES OFFICE
KB HOMES**

Dear Mrs Kyle:

The City of Manteca Planning Division has reviewed your Temporary Use Permit application for Model Complex and Temporary Sales Office for KB Home, located at 1689 / 1691 Cormorant and 1697 W. Woodward in Manteca. The Sales Office is to be located in the garage of the home at 1691 Cormorant St. Your project application for the Model Complex and Temporary Sales Office has been approved with the following conditions:

Planning Division

1. The Temporary Use Permit is only valid for the following dates: February 19, 2019 until the final home is sold for KB Home, Sundance Subdivision.
2. All related debris shall be removed from the site upon termination of the use.
3. Emergency vehicle access shall be maintained at all times.
4. Proper building permits shall be obtained for all structures (sales office and model homes) through the City of Manteca Building Safety Division at (209) 456-8550.
 - a. Developers shall obtain a Tenant Improvement for the sales office through the City of Manteca Building Safety Division.
5. A demolition permit must be obtained through the City of Manteca Building Safety Division for the temporary sales office once the final home in the subdivision by KB Home Development has been constructed.
6. Landscaping for all involved parcels shall be provided, and all on-site landscape shall be maintained by property owner per MMC 17.48.
7. Developer shall obtain permits to meet the requirements of Model Water Efficiency Landscaping Ordinance.
8. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
9. Utility Companies: The applicant is responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.

10. Fees: Developer shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

Building Safety Division

11. Developer shall provide at least one accessible route within the site from accessible parking spaces and accessible passenger loading zone; public streets and sidewalks; and public transportation stops to the accessible building sales office or facility entrance they serve. Where more than one route is provided, all routes must be accessible. CBC Section IIB-206.2.1.

Please show that the driveway cross slopes and running slopes meet the slope requirements of CBC §11B-403.3 for paths of travel. (Note: The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48)

12. Accessible parking spaces complying with CBC § 11B-502 shall be provided in accordance with CBC Table 11B-208.2. CBC § 11B-208.2 and § 11B-208.2.4.
13. Developer shall provide that all entrances and exterior ground-floor exits to buildings and facilities shall be accessible and shall comply with Section IIB-404. CBC Section IIB-206.4.1.
14. Developer shall provide an accessible restroom in accordance with CBC Chapter 11B and shall be on an accessible path of travel.
15. Developer shall obtain building permits for the sales office, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC 105.
16. Developer shall comply with all requirements of the Model Water Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.

If you have questions or need supplemental information regarding this letter, please contact Toben Barnum at (209) 456-8517 or tbarnum@ci.manteca.ca.us

Sincerely,



Greg Showerman
Community Development Director

Conditions of the Temporary Use Permit

(Please initial all boxes agreeing to comply with all applicable conditions.)

- N/A This Temporary Use Permit is only valid for the dates and times listed on this application.
- X Proper building permits shall be obtained for all electrical and structural work through the City of Manteca Building Safety Division at (209) 456-8550.
- N/A All related debris shall be removed from the site upon termination of the use.
- X Applicant will provide traffic controls and parking as required by the Public Works Department and the Police Department prior to the event.
- N/A Appropriate permits shall be secured from the San Joaquin County Health Department.
- X Emergency vehicle access shall be maintained at all times.
- X The placement of merchandise, signs and accessory vehicles/equipment shall not impede traffic circulation of the parking lot or create traffic conditions on _____.
- X Proposed activity shall not interfere with existing accessibility features (e.g. accessible parking spaces).
- X Applicant shall provide an accessible path of travel from the proposed event site to the public street, accessible parking space and to the accessible restroom facility, if applicable. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. CBC Section 1114B.1.2. Clearly show accessible path of travel on the site plan.
- N/A If parking will be provided, applicant shall provide an accessible parking space. On Street Parking only.
- X If restroom facilities will be provided, applicant shall provide an accessible restroom.
- X All gates shall meet all applicable specifications for doors, and shall comply with the following:
- Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.
 - Effort to operate door/gate is 5 pounds max pressure.
 - Latching and locking doors/gates that are hand operated and which are in a path of travel are operable by lever type, panic bars, and push-pull activating bars.
 - Opening hardware is centered between 30" to 44" above finish floor.
 - There shall be a floor or landing on each side of a door/gate, and must be level and clear. Level area in the direction of the door swing is a minimum of 60".
- X Applicant shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.
- X Applicant shall be responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
- X Appropriate direction signs, barricades or fences shall be provided as necessary.
- X Applicant shall obtain a valid City business license.
- N/A A water permit and hydrant meter shall be obtained from the Public Works Department. (209) 456-8585
- X An acceptable path of egress to the public right-of-way shall be maintained at all time.
- N/A Lessor shall not be responsible or liable for any loss or injury, or damage occurring to Lessee or to the property of Lessee or to third persons, or the property of third persons, in, about, or on said leased premises, no matter how occurring and Lessee will save Lessor harmless for or on account of any loss, injury or damage to any person or persons or their property occurring therein, or resulting from Lessee's operation thereof. Prior to the use of Property, Lessee shall obtain and maintain in force at its sole cost and expense, the following insurance coverage—Comprehensive General and Automobile Liability Insurance (covering use of owned, non-owned, or hired vehicles) with limits of \$1,000,000 per occurrence, Property Damage--\$300,000 per occurrence. Such insurance shall contain provisions insuring the City of Manteca, elected officials, employees, agents, and volunteers as insureds. Such insurance shall be primary to any liability insurance carried by the Lessor. Pursuant to California Government Code Section 818.4, a public entity is not liable for an injury caused by the issuance, denial, suspension or revocation of, or by the failure of refusal to issue, deny, suspend or revoke, any permit, license, certificate, approval, order, or similar authorization where the public entity or an employee of the public entity is authorized by enactment to determine whether or not such authorization should be issued, denied, suspended or revoked.



CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)
12/03/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Aon Risk Insurance Services West, Inc. Los Angeles CA Office 707 Wilshire Boulevard Suite 2600 Los Angeles CA 90017-0460 USA	CONTACT NAME: PHONE (A/C. No. Ext): (866) 283-7122 FAX (A/C. No.): (800) 363-0105		
	E-MAIL ADDRESS:		
INSURED KB Home Sacramento, Inc. 3005 Douglas Blvd., STE 250 Roseville CA 95661 USA	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A: Starr Indemnity & Liability Company		38318
	INSURER B: General Security Indemnity Co of Arizona		20559
	INSURER C: Old Republic Insurance Company		24147
	INSURER D:		
	INSURER E:		

Holder Identifier :

COVERAGES **CERTIFICATE NUMBER: 570074058359** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS. **Limits shown are as requested**

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
C	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GENL AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER			MWZY31198618	12/01/2018	12/01/2019	EACH OCCURRENCE	\$1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$500,000
							MED EXP (Any one person)	\$5,000
							PERSONAL & ADV INJURY	\$1,000,000
							GENERAL AGGREGATE	\$1,000,000
							PRODUCTS - COMP/OP AGG	\$1,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY			Sisipca08341718	08/31/2018	08/31/2019	COMBINED SINGLE LIMIT (Ea accident)	\$1,000,000
							BODILY INJURY (Per person)	
							BODILY INJURY (Per accident)	
							PROPERTY DAMAGE (Per accident)	
B	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION			10F15583220181 SIR applies per policy terms & conditions	12/01/2018	12/01/2019	EACH OCCURRENCE	\$3,000,000
							AGGREGATE	\$3,000,000
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	1000001836	08/31/2018	08/31/2019	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER	
							E.L. EACH ACCIDENT	\$1,000,000
							E.L. DISEASE-EA EMPLOYEE	\$1,000,000
							E.L. DISEASE-POLICY LIMIT	\$1,000,000

Certificate No : 570074058359

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 RE: Sundance Subdivision Unit 3 - Lot No. 142, 165 & 166 - Temporary Use Permit - Model Home Complex / Sales Office and ADA Restroom. City of Manteca, elected officials, employees, agents and volunteers are included as Additional Insured in accordance with the policy provisions of the General Liability policy. General Liability and Automobile Liability policies evidenced herein are Primary and Non-Contributory to other insurance available to an Additional Insured, but only in accordance with the policy's provisions. A Waiver of Subrogation is granted in favor of The City of Manteca in accordance with the policy provisions of the General Liability, Automobile Liability and Workers' Compensation policies.

CERTIFICATE HOLDER**CANCELLATION**

City of Manteca
 Community Development Department
 1001 W. Center St.
 Manteca CA 95337 USA

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Aon Risk Insurance Services West Inc

IL 10 (12/06) OLD REPUBLIC INSURANCE COMPANY

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

ADDITIONAL INSURED - DESIGNATED PERSON OR ORGANIZATION

This endorsement modifies insurance provided under the following:

COMMERCIAL LIABILITY COVERAGE FORM

SCHEDULE

Name Of Additional Insured Person(s) Or Organization(s):
City of Manteca, its officers, officials, employees, agents and volunteers

SECTION II – WHO IS AN INSURED is amended to include as an additional insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for "bodily injury", "property damage" or "personal and advertising injury" caused in whole or in part, by your acts or omissions or the acts or omissions of those acting on your behalf (including liability arising out of your work for that insured by or for you) as respects the construction and maintenance of the:

Sundance Subdivision Unit 3 - Lot #'s 142, 165 & 166 - Temporary Use Permit - Model Home Complex / Sales Office and ADA Restroom project

As respects any person(s) or organization(s) shown in the above Schedule with whom you have agreed in a written contract, agreement or permit to provide primary insurance coverage on a non-contributory basis, this insurance will be primary to and non-contributing with any other insurance available to such person(s) or organization(s).

IL 10 (12/06) OLD REPUBLIC INSURANCE COMPANY

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

DESIGNATED ENTITY - NOTICE OF CANCELLATION PROVIDED BY US

SCHEDULE

Number of Days Notice of Cancellation: 30

Person or Organization:

City of Manteca, its officers, officials, employees, agents and volunteers
Re: Sundance Subdivision Unit 3 - Lot #'s 142, 165 & 166 - Temporary Use Permit - Model Home Complex / Sales Office and ADA Restroom project





Address:

City of Manteca
Community Development Department
1001 W. Center St.
Manteca, CA 95337

Provisions


If we cancel this policy for any statutorily permitted reason other than nonpayment of premium, and a number of days is shown for cancellation in the schedule above, we will mail notice of cancellation to the person or organization shown in the schedule above. We will mail such notice to the address shown in the schedule above at least the number of days shown for cancellation in the schedule above before the effective date of cancellation.

LEGEND

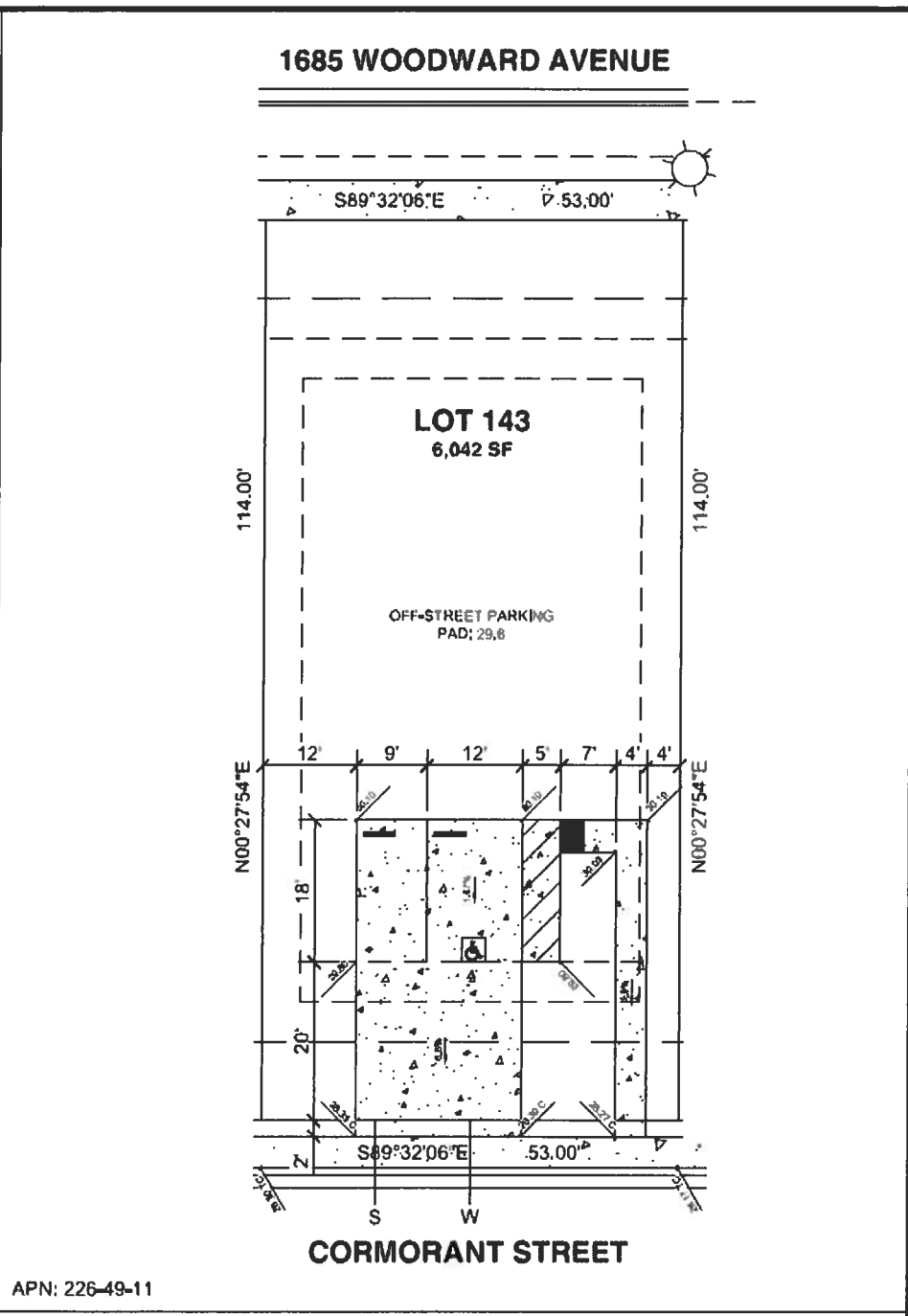
PUBLIC UTILITY EASEMENT	PUE
WATER LINE LATERAL	— W
SEWER LINE LATERAL	— S
HOUSE UTILITIES (CABLE TV, GAS, TELEPHONE, ELECTRICAL)	— U
FENCE	— + —
FIRE HYDRANT	
ELECTROLIER	
PAD MOUNT TRANSFORMER	
CURB INLETS	

MCR ENGINEERING
 www.mcreng.com

MCR ENGINEERING, INC.
 1242 DUPONT COURT
 MANTECA, CA 95336
 TEL: (209) 239-6229


 SCALE 1" = 20'

DRAWN BY: RP
 PLOTTED: FEBRUARY 4, 2019
 REVISED: _____



SUNDANCE - KB HOME

- NOTES:
1. DATUM: NAVD 83
 2. ALL GROUND SHALL SLOPE AWAY FROM BUILDING WITH A DRAINAGE SWALE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE.
 3. FINAL FENCE LOCATIONS TO BE DETERMINED BY THE CONTRACTOR.
 4. UNAUTHORIZED CHANGES & USES: NEITHER KB HOME NOR MCR ENGINEERING WILL BE HELD RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THIS PLOT. ALL CHANGES TO THIS PLOT MUST BE APPROVED IN WRITING BY THE ENGINEER. PHOTOCOPIES OR OTHER FORMS OF REPRODUCTION OF THIS PLOT MAY EFFECT ITS SCALABLE DIMENSIONS.
 5. DUE TO THE UNIQUE CONDITIONS OF THIS LOT, THE BUYER HAS WALKED AND APPROVED THE SITE. SPOT ELEVATIONS ARE APPROXIMATE, CURB DRAIN LOCATIONS AND FINAL GRADING CONDITIONS MAY VARY. THE INFORMATION ON THIS PLOT PLAN IS PROVIDED FOR YOUR CONVENIENCE AS A GUIDE TO THE GENERAL LOCATION OF THE SUBJECT PROPERTY. THE ACCURACY OF THIS PLOT PLAN IS NOT GUARANTEED, NOR IS IT A PART OF ANY POLICY, REPORT OR GUARANTEE TO WHICH IT MAY BE ATTACHED. ACTUAL DIMENSIONS MAY VARY OR CHANGE WITHOUT PRIOR NOTICE DUE TO ACTUAL SITE CONDITIONS. UTILITY BOXES AND TRANSFORMERS MAY BE MOVED OR ADDED AT THE DISCRETION OF THE UTILITY COMPANIES.

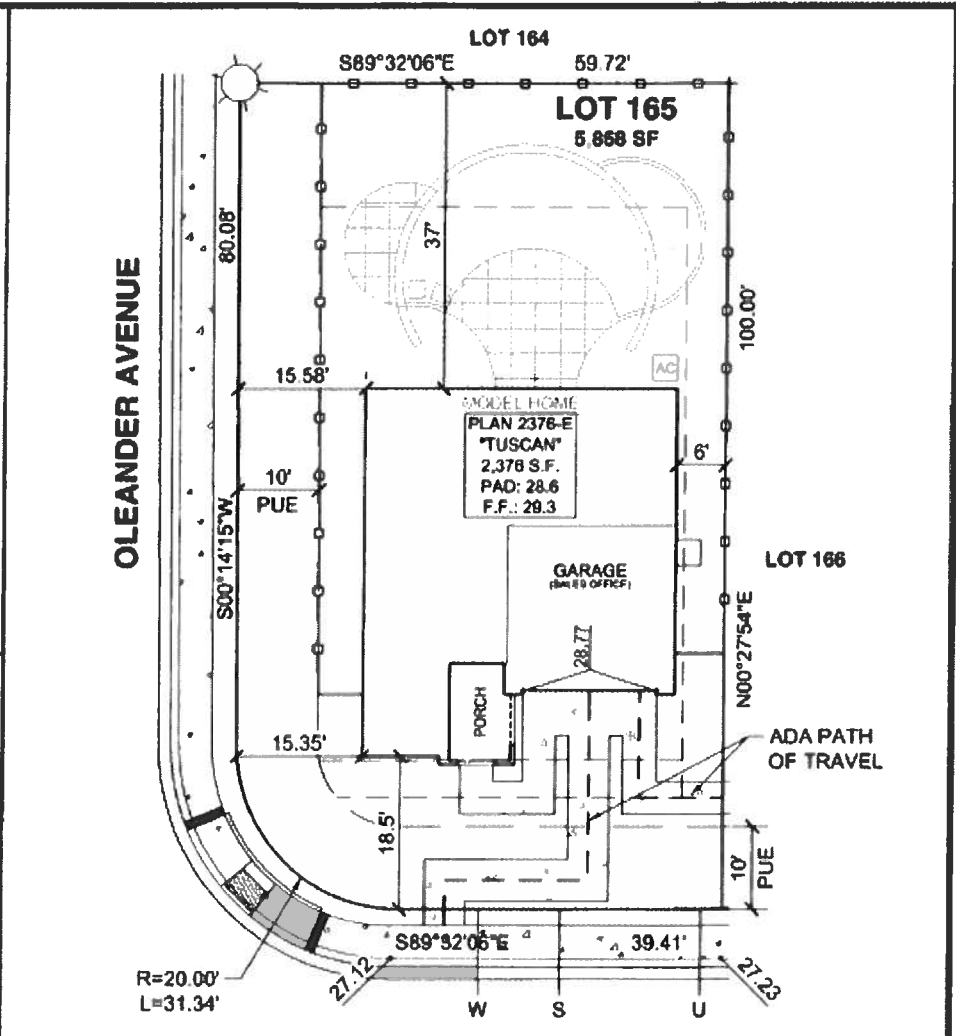
BUYER'S SIGNATURE:	DATE	BUYER'S SIGNATURE	DATE
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LEGEND

PUBLIC UTILITY EASEMENT	PUE
WATER LINE LATERAL	— W
SEWER LINE LATERAL	— S
HOUSE UTILITIES (CABLE TV, GAS, TELEPHONE, ELECTRICAL)	— U
FENCE	—
FIRE HYDRANT	⊙
ELECTROLIER	⊙
PAD MOUNT TRANSFORMER	▲
CURB INLETS	⊠

MCR ENGINEERING
 MCR ENGINEERING, INC.
 1242 DUPONT COURT
 MANTECA, CA 95336
 TEL: (209) 239-6229

DRAWN BY: RP
PLOTTED: AUGUST 15, 2018
REVISED: JANUARY 24, 2019



COVERAGE AREA: 1,553 SF
LOT COVERAGE: 26.5%
FRONTYARD: 1,498 S.F.
APN: 226-49-33

SUNDANCE - KB HOME

- NOTES:**
1. DATUM: NAVD 88
 2. ALL GROUND SHALL SLOPE AWAY FROM BUILDING WITH A DRAINAGE SWALE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE.
 3. FINAL FENCE LOCATIONS TO BE DETERMINED BY THE CONTRACTOR
 4. UNAUTHORIZED CHANGES & USES: NEITHER KB HOME NOR MCR ENGINEERING WILL BE HELD RESPONSIBLE FOR OR UNABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THIS PLOT. ALL CHANGES TO THIS PLOT MUST BE APPROVED IN WRITING BY THE ENGINEER. PHOTOCOPIING/OTHER FORMS OF REPRODUCTION OF THIS PLOT MAY EFFECT ITS SCALABLE DIMENSIONS
 5. DUE TO THE UNIQUE CONDITIONS OF THIS LOT, THE BUYER HAS WALKED AND APPROVED THE SITE. SPOT ELEVATIONS ARE APPROXIMATE. CURB DRAIN LOCATIONS AND FINAL GRADING CONDITIONS MAY VARY. THE INFORMATION ON THIS PLOT PLAN IS PROVIDED FOR YOUR CONVENIENCE AS A GUIDE TO THE GENERAL LOCATION OF THE SUBJECT PROPERTY. THE ACCURACY OF THIS PLOT PLAN IS NOT GUARANTEED, NOR IS IT A PART OF ANY POLICY, REPORT OR GUARANTEE TO WHICH IT MAY BE ATTACHED. ACTUAL DIMENSIONS MAY VARY OR CHANGE WITHOUT PRIOR NOTICE DUE TO ACTUAL SITE CONDITIONS. UTILITY BOXES AND TRANSFORMERS MAY BE MOVED OR ADDED AT THE DISCRETION OF THE UTILITY COMPANIES.

BUYER'S SIGNATURE: _____ DATE _____ BUYER'S SIGNATURE _____ DATE _____

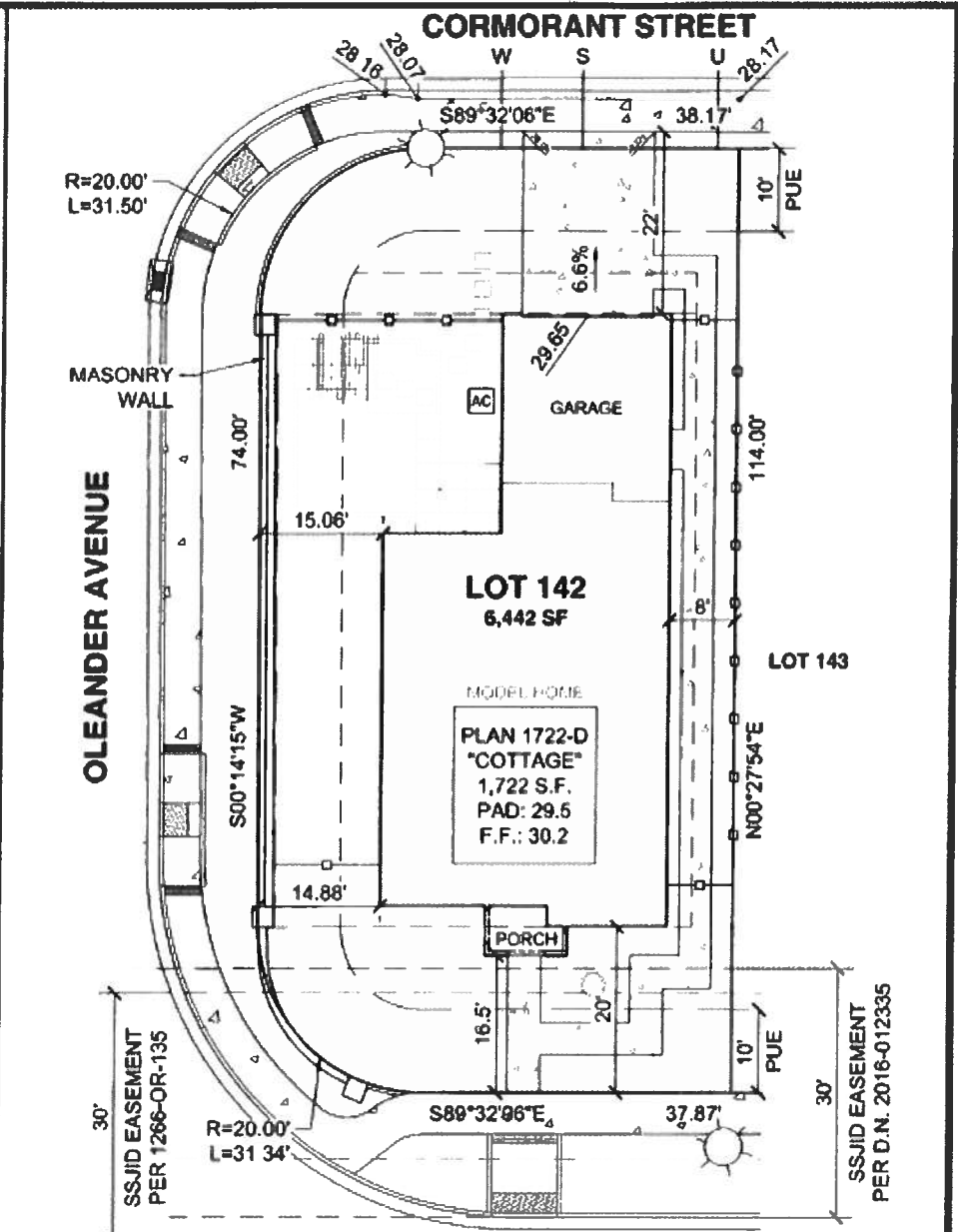
LEGEND

PUBLIC UTILITY EASEMENT	PUE
WATER LINE LATERAL	W
SEWER LINE LATERAL	S
HOUSE UTILITIES (CABLE TV, GAS, TELEPHONE, ELECTRICAL)	U
FENCE	
FIRE HYDRANT	
ELECTROLIER	
PAD MOUNT TRANSFORMER	
CURB INLETS	

MCR ENGINEERING
 MCR ENGINEERING, INC.
 1242 DUPONT COURT
 MANTECA, CA 95336
 TEL : (209) 239 - 6229



DRAWN BY: RP
 PLOTTED: AUGUST 15, 2018
 REVISED: JANUARY 24, 2019



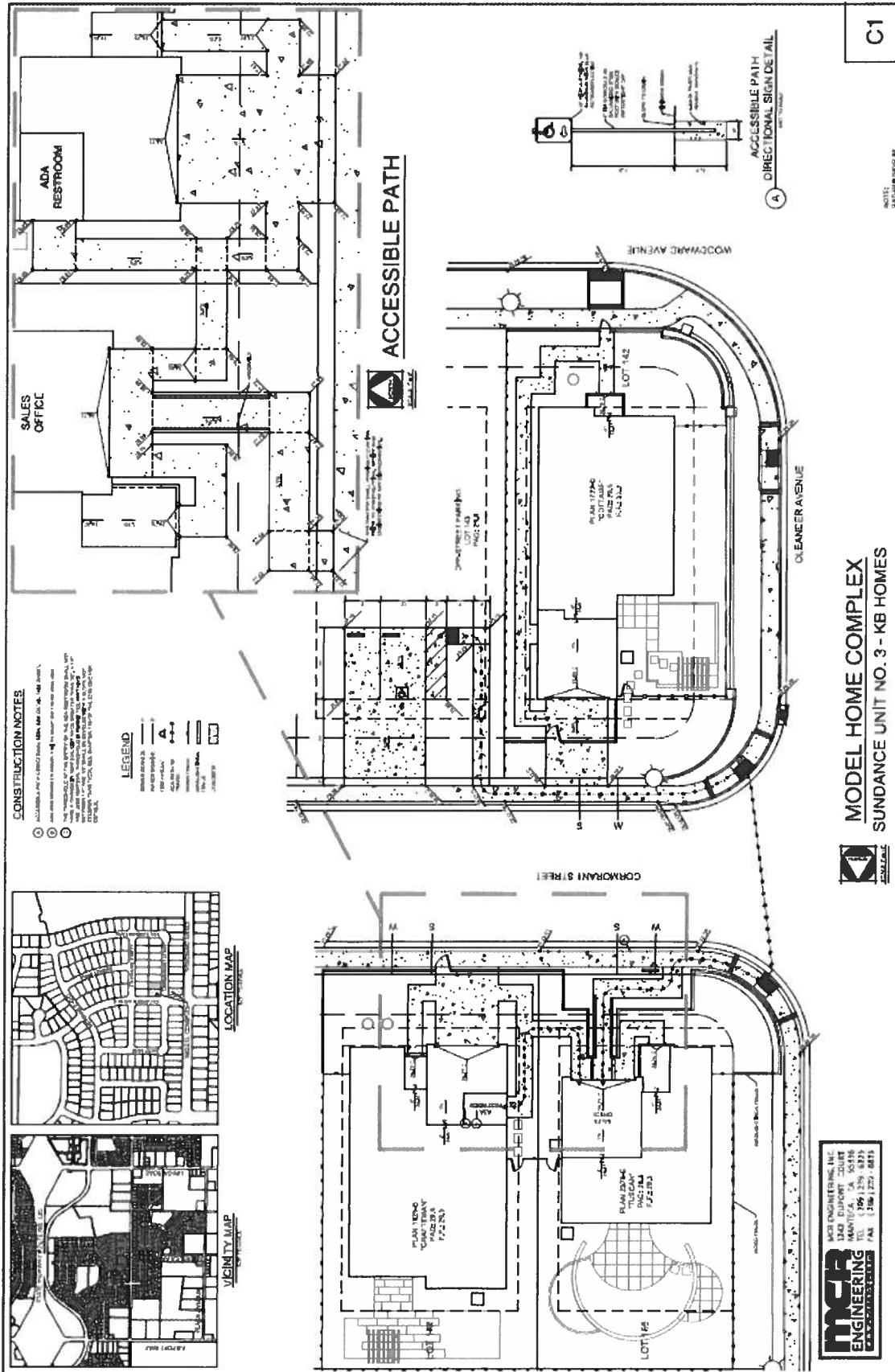
1697 WOODWARD AVENUE
 *NOTE: REFER TO MODEL COMPLEX PLAN FOR COMPLETE GRADING INFORMATION

COVERAGE AREA: 2,213 SF
 LOT COVERAGE: 34.4%
 FRONTYARD: 841 S.F.
 APN: 226-49-10

SUNDANCE - KB HOME

- NOTES:
- DATUM: NAVD 88
 - ALL GROUND SHALL SLOPE AWAY FROM BUILDING WITH A DRAINAGE SWALE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE
 - FINAL FENCE LOCATIONS TO BE DETERMINED BY THE CONTRACTOR
 - UNAUTHORIZED CHANGES & USES: NEITHER KB HOME NOR MCR ENGINEERING WILL BE HELD RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THIS PLOT. ALL CHANGES TO THIS PLOT MUST BE APPROVED IN WRITING BY THE ENGINEER. PHOTOCOPIING/OTHER FORMS OF REPRODUCTION OF THIS PLOT MAY EFFECT ITS SCALARS DIMENSIONS.
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BUYER'S SIGNATURE: _____ DATE _____ BUYER'S SIGNATURE _____ DATE _____



CONSTRUCTION NOTES

1. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
9. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

LEGEND

- 1. 1" = 10' (AS SHOWN)
- 2. 1" = 10' (AS SHOWN)
- 3. 1" = 10' (AS SHOWN)
- 4. 1" = 10' (AS SHOWN)
- 5. 1" = 10' (AS SHOWN)
- 6. 1" = 10' (AS SHOWN)
- 7. 1" = 10' (AS SHOWN)
- 8. 1" = 10' (AS SHOWN)
- 9. 1" = 10' (AS SHOWN)
- 10. 1" = 10' (AS SHOWN)

MODEL HOME COMPLEX
 SUNDANCE UNIT NO. 3 - KB HOMES

MOE ENGINEERING, INC.
 1340 DUPONT COURT
 MONTICELLO, TN 37135
 TEL: 615.271.2211 FAX: 615.271.2211

C1



CITY OF MANTECA Community Development Department Project Referral/Routing

City Departments

- | | |
|--|---|
| <input checked="" type="checkbox"/> Engineering – Maribel Serrano | <input checked="" type="checkbox"/> Police Department - Scott Cunningham |
| <input checked="" type="checkbox"/> Building Department - Lumen Arceo | <input checked="" type="checkbox"/> Public Works – Koosun Kim |
| <input checked="" type="checkbox"/> Parks and Recreation -Michael Rosales | <input type="checkbox"/> City Attorney |
| <input checked="" type="checkbox"/> Fire Department -Lantz Rey | <input type="checkbox"/> Park and Recreation: Landscaping - Katie Reed |

Outside Agencies

- | | |
|---|---|
| <input type="checkbox"/> South San Joaquin Irrigation District (SSJID) | <input type="checkbox"/> City of Ripon |
| <input type="checkbox"/> San Joaquin County Multi-Species
Habitat Conservation | <input type="checkbox"/> City of Lathrop |
| <input type="checkbox"/> San Joaquin Council of Governments (SJCOG) | <input type="checkbox"/> Union Pacific Railroad |
| <input type="checkbox"/> San Joaquin County Environmental Health | <input type="checkbox"/> ALUC-Airport Land Use Commission |
| <input type="checkbox"/> San Joaquin County Public Works | <input type="checkbox"/> CA Dept. of Fish and Game |
| <input type="checkbox"/> San Joaquin County Community
Development Department | <input type="checkbox"/> CA Dept. of Conservation |
| <input type="checkbox"/> San Joaquin County LAFCo | <input type="checkbox"/> Dept. of Water Resources Control Board,
Water Quality |
| <input type="checkbox"/> Caltrans District 10 | <input type="checkbox"/> Native American Heritage Commission |
| <input type="checkbox"/> San Joaquin Valley Air Pollution Control
District | <input type="checkbox"/> U.S. Dept. of Fish and Wildlife Services |
| <input type="checkbox"/> San Joaquin Delta College,
Office of the President | <input type="checkbox"/> U.S. Army Corp. of Engineers |
| <input type="checkbox"/> Manteca Unified School District | <input type="checkbox"/> Federal Emergency Management Agency (FEMA) |
| <input type="checkbox"/> Ripon Unified School District | <input type="checkbox"/> U.S. Post Office |
| <input type="checkbox"/> Lathrop-Manteca Fire District | <input type="checkbox"/> Comcast Cable |
| <input type="checkbox"/> Ripon Consolidated Fire District | <input type="checkbox"/> Frontier Communications |
| | <input type="checkbox"/> Pacific Gas and Electric |
| | <input type="checkbox"/> San Joaquin Bike Coalition |

Referral/Route Date: January 31, 2019

From: Toben Barnum, Development Services Technician (209) 456-8517, tbarnum@ci.manteca.ca.us

Project Description: KB Homes model complex with temp sales offices in garages.

Project Location: 1689 / 1691 Cormorant, and 1697 W Woodward Ave, Manteca, CA 95337

The Planning Division would appreciate your comments/conditions at the earliest possible date, but **no later than February 19, 2019**. Please submit your comments on a separate memo, or on the form provided on the back of this page. If possible, please email your comments to tbarnum@ci.manteca.ca.us in addition to submitting a hard copy. Contact **Toben Barnum** at (209) 456-8517 if you have any questions.



PROJECT REFERRAL/ROUTING SHEET

DATE: 02/19/19

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: CDD Engineering
(Department or Agency)

Contact Person: M. Serrano Phone: (209) 456 8586

Project Title: TUP 19-019 Model Complex and Temp Sales Offices for KB Homes

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Memo

To: Toben Barnum, Development Services Technician
From: Lumen Arceo, Senior Plan Check Engineer
Date: February 19, 2019
Re: TUP 19—019 KB Homes (Model Complex w/ Sales Office in the Garage)

1. Developer shall provide at least one accessible route within the site from accessible parking spaces and accessible passenger loading zone; public streets and sidewalks; and public transportation stops to the accessible building sales office or facility entrance they serve. Where more than one route is provided, all routes must be accessible. CBC Section IIB-206.2.1.
 - Please show that the driveway cross slopes and running slopes meet the slope requirements of CBC §11B-403.3 for paths of travel. (Note: The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48)
2. Accessible parking spaces complying with CBC § 11B-502 shall be provided in accordance with CBC Table 11B-208.2. CBC § 11B-208.2 and § 11B-208.2.4.
3. Developer shall provide that all entrances and exterior ground-floor exits to buildings and facilities shall be accessible and shall comply with Section IIB-404. CBC Section IIB-206.4.1.
4. Developer shall provide an accessible restroom in accordance with CBC Chapter 11B and shall be on an accessible path of travel.
5. Developer shall obtain building permits for the sales office, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC 105.
6. Developer shall comply with all requirements of the Model Water Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.



PROJECT REFERRAL/ROUTING SHEET

DATE: 02/11/2019

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: Parks and Recreation Department
(Department or Agency)

Contact Person: Michael Rosales Phone: 456-8615

Project Title: TUP 19-019 Model Complex and Temp Sales Offices for KB Homes

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 2/5/19

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: Fisc
(Department or Agency)

Contact Person: K. Ray Phone: x8347

Project Title: TUP 19-019 Model Complex and Temp Sales Offices for KB Homes

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

RECEIVED

FEB 06 2019

COMMUNITY DEVELOPMENT
DEPARTMENT

DATE: 2-5-19

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: _____

PD

(Department or Agency)

Contact Person: Scott Cunningham

Phone: 8281

Project Title: TUP 19-019 Model Complex and Temp Sales Offices for KB Homes

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Barnum, Toben

From: Kim, Koosun
Sent: Tuesday, February 19, 2019 10:28 AM
To: Barnum, Toben
Subject: Task Completed: TUP 19-019 Model Complex and Sales Office for KB Homes

Thank you,



Koosun Kim, PE, QSD

Deputy Director of Public Works - Engineering

City of Manteca | Public Works
1001 W. Center St. | Manteca, CA 95337
Office: 209.456-8419 | Fax: 209.923.8940
www.mantecagov.com

-----Original Task-----

Subject: TUP 19-019 Model Complex and Sales Office for KB Homes
Priority: Normal

Start date: Mon 2/4/2019
Due date: Tue 2/19/2019

Status: Completed
% Complete: 100%
Date completed: Tue 2/19/2019
Actual work: 0 hours

Requested by: Barnum, Toben

No comment

AMENDED Please disregard previous submittal for this TUP. If possible, please expedite comments. Hardcopy to follow interoffice.



TUP 19-019
Routing Sheet.pdf

Thank you,



Toben Barnum, Development Services Technician
City of Manteca | Community Development Department
1001 W. Center St. | Manteca, CA 95337