



CITY OF MANTECA

COMMUNITY DEVELOPMENT DEPARTMENT

February 26, 2019

DeJong 72 LLC
ATTN: Troy Wright
P.O. Box 576789
Modesto, CA 95357

SUBJECT: TEMP USE PERMIT 19-025: VINTAGE ESTATES MODEL HOME COMPLEX AND SALES OFFICE

Dear Mr. Wright,

The City of Manteca Planning Division has reviewed your Temporary Use Permit application for a model home complex, sales office. The sales complex is proposed for 1517, 1535 and 1547 Veteran St. in Manteca, CA (APNs: 224-650-01, 02 and 03). Your project application for the Model Home Complexes and Temporary Sales Office has been approved with the following conditions:

Planning Division

1. The Temporary Use Permit is only valid for the following dates: March 1, 2019 until the final home is sold for DeJong Homes Vintage Estates Subdivision.
2. All related debris shall be removed from the site upon termination of the use.
3. Emergency vehicle access shall be maintained at all times.
4. Proper building permits shall be obtained for all structures (sales office and model homes) through the City of Manteca Building Safety Division at (209) 456-8550.
5. A demolition permit must be obtained through the City of Manteca Building Safety Division for the temporary sales office once the final home in the subdivision by DeJong Homes Development has been constructed.
6. All on-site landscape shall be maintained by property owner.
7. Developer shall obtain permits to meet the requirements of Model Water Efficiency Landscaping Ordinance.
8. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
9. Utility Companies: The applicant is responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
10. Fees: Developer shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

Building Safety Division

11. Accessible parking spaces complying with CBC § 11B-502 shall be provided in accordance with CBC Table 11B-208.2. CBC § 11B-208.2 and § 11B-208.2.4.
12. Developer shall provide an accessible restroom in accordance with CBC Chapter 11B and shall be on an accessible path of travel.
13. Developer shall obtain building permits for the sales office, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC 105.
14. Developer shall comply with all requirements of the Model Water Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.

Parks and Recreation Department

15. Street trees shall match Street Tree Plan provided by the Developer and approved by the City Arborist.

NOTE: To date, Parks has not received a street tree plan for the final subdivision map.

If you have questions or need supplemental information regarding this letter, please contact Toben Barnum at (209) 456-8517 or tbarnum@ci.manteca.ca.us

Sincerely,

A handwritten signature in blue ink, appearing to read "Greg Showerman".

Greg Showerman
Community Development Director



CITY OF MANTECA Community Development Department Project Referral/Routing

City Departments

- | | |
|--|--|
| <input checked="" type="checkbox"/> Engineering – Maribel Serrano | <input checked="" type="checkbox"/> Police Department- Scott Cunningham |
| <input checked="" type="checkbox"/> Building Department- Lumen Arceo | <input checked="" type="checkbox"/> Public Works – Koosun Kim |
| <input checked="" type="checkbox"/> Parks and Recreation- Michael Rosales | <input type="checkbox"/> City Attorney |
| <input checked="" type="checkbox"/> Fire Department- Lantz Rey | <input type="checkbox"/> Park and Recreation: Landscaping- Katie Reed |

Outside Agencies

- | | |
|---|---|
| <input type="checkbox"/> South San Joaquin Irrigation District (SSJID) | <input type="checkbox"/> City of Ripon |
| <input type="checkbox"/> San Joaquin County Multi-Species
Habitat Conservation | <input type="checkbox"/> City of Lathrop |
| <input type="checkbox"/> San Joaquin Council of Governments (SJCOG) | <input type="checkbox"/> Union Pacific Railroad |
| <input type="checkbox"/> San Joaquin County Environmental Health | <input type="checkbox"/> ALUC-Airport Land Use Commission |
| <input type="checkbox"/> San Joaquin County Public Works | <input type="checkbox"/> CA Dept. of Fish and Game |
| <input type="checkbox"/> San Joaquin County Community
Development Department | <input type="checkbox"/> CA Dept. of Conservation |
| <input type="checkbox"/> San Joaquin County LAFCo | <input type="checkbox"/> Dept. of Water Resources Control Board,
Water Quality |
| <input type="checkbox"/> Caltrans District 10 | <input type="checkbox"/> Native American Heritage Commission |
| <input type="checkbox"/> San Joaquin Valley Air Pollution Control
District | <input type="checkbox"/> U.S. Dept. of Fish and Wildlife Services |
| <input type="checkbox"/> San Joaquin Delta College,
Office of the President | <input type="checkbox"/> U.S. Army Corp. of Engineers |
| <input type="checkbox"/> Manteca Unified School District | <input type="checkbox"/> Federal Emergency Management Agency (FEMA) |
| <input type="checkbox"/> Ripon Unified School District | <input type="checkbox"/> U.S. Post Office |
| <input type="checkbox"/> Lathrop-Manteca Fire District | <input type="checkbox"/> Comcast Cable |
| <input type="checkbox"/> Ripon Consolidated Fire District | <input type="checkbox"/> Frontier Communications |
| | <input type="checkbox"/> Pacific Gas and Electric |
| | <input type="checkbox"/> San Joaquin Bike Coalition |

Referral/Route Date: February 12, 2019

From: Toben Barnum, Development Services Technician (209) 456-8517, tbarnum@ci.manteca.ca.us

Project Description: Construction of a model home complex of two homes and off-street parking area. Sales office in the garage of Lot 133. Off-street parking will be in an adjacent parcel to the west.

Project Location: 1517, 1535 and 1547 Veteran St, Manteca, CA 95336.

APNs: 224-650-01, 224-650-02 and 224-650-03

The Planning Division would appreciate your comments/conditions at the earliest possible date, but **no later than February 28, 2019**. Please submit your comments on a separate memo, or on the form provided on the back of this page. If possible, please email your comments to tbarnum@ci.manteca.ca.us in addition to submitting a hard copy. Contact **Toben Barnum** at (209) 456-8517 if you have any questions.



TEMPORARY USE PERMIT APPLICATION

CITY OF MANTECA, COMMUNITY DEVELOPMENT DEPARTMENT
1001 W. CENTER ST., MANTECA, CA 95337, (209)456-8500
planning@ci.manteca.ca.us

Applicant Info	Property Owner Info
Name: <u>DEJONG 72 LLC</u>	Name: <u>CRAIG DEJONG</u>
Address: <u>P.O. Box 576 489</u>	Address: <u>2200 S. HWY 99</u>
City/State/Zip: <u>MODESTO, CA 95357</u>	City/State/Zip: <u>RIPON, CA</u>
Home Telephone: <u>521-0803</u>	Home Telephone: <u>209-456-1427</u>
Mobile No.: <u>918-8155</u>	Mobile No.: _____
E-mail Address: <u>TRAYE.WPBUILDERS.NIST</u>	E-mail Address: <u>CRAIGDEJONG@YMAIL.COM</u>
Fax No.: <u>209-549-9861</u>	Fax No.: <u>209-599-3674</u>

Event Info
Business Name: <u>VINTAGE ESTATES (SALES OFFICE)</u>
Event Hours: Days: <u>MONDAY - SUNDAY</u> Hours: <u>10:00 AM - 5:00 PM</u>
Event Location: _____
Description of Event/ Activities: <u>SALES OFFICE AND MODELS FOR THE VINTAGE SUBDIVISION</u>

Statement of Ownership or Authorization of Agent (Check one item)

- I, the undersigned, am (one of) the legal owner(s) of the land specified in this application.
- I, do hereby authorized and empower TRAYE WRIGHT (agent) to act on my behalf on all matters relating to this application.

Craig DeJong Property Owner Signature CRAIG DeJong Print Name 1-25-19 Date
2200 S. HWY 99 Address Ripon Ca, 95366 City, State, Zip 209-456-1427 Telephone

In making this application, the undersigned agrees that the above information is true and that all conditions will be met.

[Signature] Applicant Signature TRAYE WRIGHT Print Name 1/25/19 Date

OFFICE USE ONLY		
Fee: \$568	Receipt No.: <u>2019-00169909</u>	Date Received: <u>2/12/19</u>
+ \$250 Cleaning Deposit Required. (Christmas tree Lots Only *Send copy of Approved TUP to Superintendent at Solid Waste)		
Approved: <u>X</u>	Denied: _____	
Planner Signature: <u>[Signature]</u>	Date <u>2/26/19</u>	
Assessor's Parcel No. (APN): <u>224-650-01, 02, 03</u>	Application Number: <u>19-025</u>	

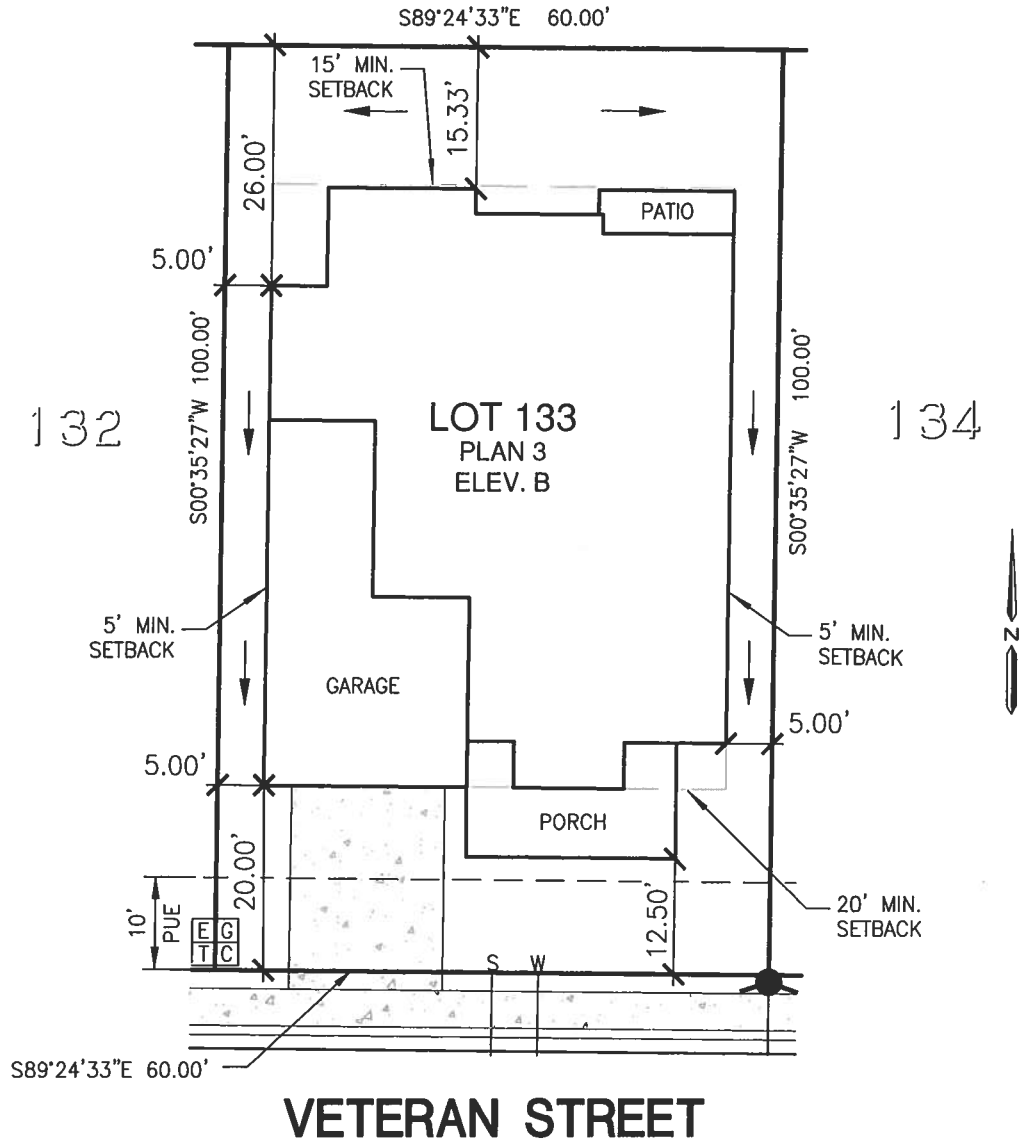
Conditions of the Temporary Use Permit

(Please initial all boxes agreeing to comply with all applicable conditions.)

- This Temporary Use Permit is only valid for the dates and times listed on this application.
- Proper building permits shall be obtained for all electrical and structural work through the City of Manteca Building Safety Division at (209) 456-8550.
- All related debris shall be removed from the site upon termination of the use.
- Applicant will provide traffic controls and parking as required by the Public Works Department and the Police Department prior to the event.
- Appropriate permits shall be secured from the San Joaquin County Health Department.
- Emergency vehicle access shall be maintained at all times.
- The placement of merchandise, signs and accessory vehicles/equipment shall not impede traffic circulation of the parking lot or create traffic conditions on _____.
- Proposed activity shall not interfere with existing accessibility features (e.g. accessible parking spaces).
- Applicant shall provide an accessible path of travel from the proposed event site to the public street, accessible parking space and to the accessible restroom facility, if applicable. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. CBC Section 1114B.1.2. Clearly show accessible path of travel on the site plan.
- If parking will be provided, applicant shall provide an accessible parking space.
- If restroom facilities will be provided, applicant shall provide an accessible restroom.
- All gates shall meet all applicable specifications for doors, and shall comply with the following:
 - Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.
 - Effort to operate door/gate is 5 pounds max pressure.
 - Latching and locking doors/gates that are hand operated and which are in a path of travel are operable by lever type, panic bars, and push-pull activating bars.
 - Opening hardware is centered between 30" to 44" above finish floor.
 - There shall be a floor or landing on each side of a door/gate, and must be level and clear. Level area in the direction of the door swing is a minimum of 60".
- Applicant shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.
- Applicant shall be responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
- Appropriate direction signs, barricades or fences shall be provided as necessary.
- Applicant shall obtain a valid City business license.
- A water permit and hydrant meter shall be obtained from the Public Works Department. (209) 456-8585
- An acceptable path of egress to the public right-of-way shall be maintained at all time.
- Lessor shall not be responsible or liable for any loss or injury, or damage occurring to Lessee or to the property of Lessee or to third persons, or the property of third persons, in, about, or on said leased premises, no matter how occurring and Lessee will save Lessor harmless for or on account of any loss, injury or damage to any person or persons or their property occurring therein, or resulting from Lessee's operation thereof. Prior to the use of Property, Lessee shall obtain and maintain in force at its sole cost and expense, the following insurance coverage—Comprehensive General and Automobile Liability Insurance (covering use of owned, non-owned, or hired vehicles) with limits of \$1,000,000 per occurrence, Property Damage--\$300,000 per occurrence. Such insurance shall contain provisions insuring the City of Manteca, elected officials, employees, agents, and volunteers as insureds. Such insurance shall be primary to any liability insurance carried by the Lessor. Pursuant to California Government Code Section 818.4, a public entity is not liable for an injury caused by the issuance, denial, suspension or revocation of, or by the failure of refusal to issue, deny, suspend or revoke, any permit, license, certificate, approval, order, or similar authorization where the public entity or an employee of the public entity is authorized by enactment to determine whether or not such authorization should be issued, denied, suspended or revoked.

LEGEND

- ← DRAINAGE SWALE
- PUE PUBLIC UTILITY EASEMENT
- W WATER SERVICE
- S SEWER SERVICE
- SETBACK LINE
- E
G
T
C ELECTRIC, GAS, TELEPHONE, AND CABLE SERVICES
- FIRE HYDRANT



HOUSE PLAN OPTIONS:
PATIO

NOTES:

- 1) THIS PLOT PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. THIS PLOT DOES NOT REFLECT AS BUILT CONDITIONS, HOWEVER, ALL CONSTRUCTION SHALL BE CONSISTENT WITH CITY STANDARDS. CONTRACTOR SHALL VERIFY EXISTING IMPROVEMENTS.
- 2) UTILITY LOCATIONS ARE BASED ON CURRENT PLANS AND ARE SUBJECT TO CHANGE THROUGHOUT THE CONSTRUCTION PROCESS

SCALE: 1"=20'
DRAWN BY: JH
FILE: 34160-PP-Lot 133.dwg
DATE: 01/24/2019

PLOT PLAN - LOT 133 - 6000 S.F.
VETERAN STREET
DEJONG ESTATES UNIT NO.3
MANTECA, CALIFORNIA



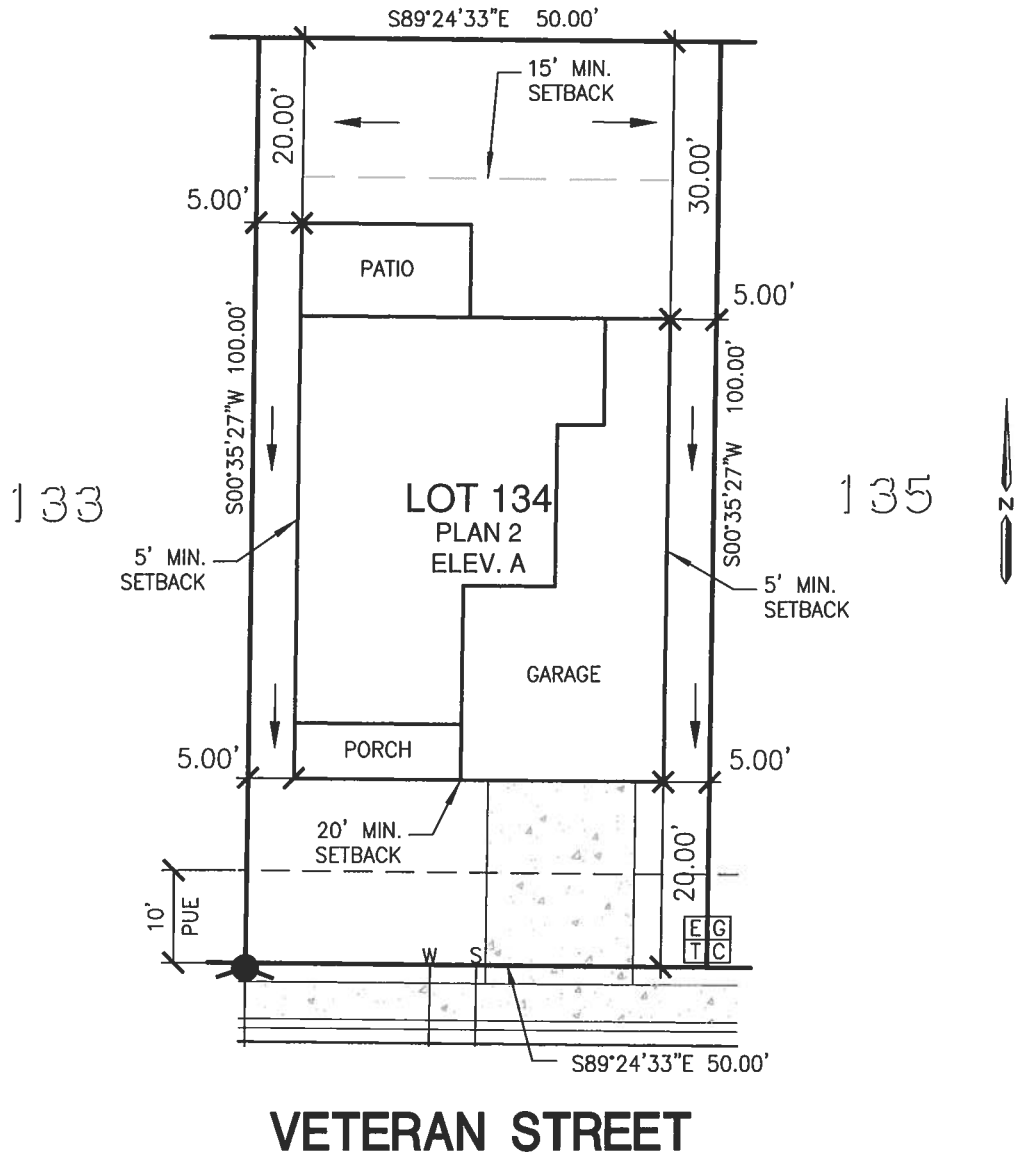
O'DELL
ENGINEERING

1165 Scenic Drive, Suite A Modesto, CA 95350
Ph 209.571.1765 Fax 209.571.2466

LEGEND

- ← DRAINAGE SWALE
- PUE PUBLIC UTILITY EASEMENT
- W WATER SERVICE
- S SEWER SERVICE
- SETBACK LINE
- | | |
|---|---|
| E | G |
| T | C |

 ELECTRIC, GAS, TELEPHONE, AND CABLE SERVICES
- FIRE HYDRANT



HOUSE PLAN OPTIONS:
PATIO

NOTES:

- 1) THIS PLOT PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, AND DIRECTION OF DRAINAGE FLOW TO CONFORM WITH LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. THIS PLOT DOES NOT REFLECT AS BUILT CONDITIONS, HOWEVER, ALL CONSTRUCTION SHALL BE CONSISTENT WITH CITY STANDARDS. CONTRACTOR SHALL VERIFY EXISTING IMPROVEMENTS.
- 2) UTILITY LOCATIONS ARE BASED ON CURRENT PLANS AND ARE SUBJECT TO CHANGE THROUGHOUT THE CONSTRUCTION PROCESS

SCALE: 1"=20'

DRAWN BY: JH

FILE: 34160-PP-Lot 134.dwg

DATE: 01/24/2019

PLOT PLAN - LOT 134 - 5000 S.F.
VETERAN STREET
DEJONG ESTATES UNIT NO.3
 MANTECA, CALIFORNIA

ODELL
ENGINEERING

1165 Scenic Drive, Suite A Modesto, CA 95350
 Ph 209.571.1765 Fax 209.571.2466



PROJECT REFERRAL/ROUTING SHEET

DATE: 02/25/2018

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: CDD - engineering
(Department or Agency)

Contact Person: M. Serrano

Phone: (209) 487-8586

Project Title: TUP 19-025 Vintage Estates Model Home Complex and Sales Office

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 2/26/19

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: Bldg Safety
(Department or Agency)

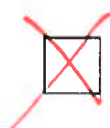
Contact Person: LA Phone: X8560

Project Title: TUP 19-025 Vintage Estates Model Home Complex and Sales Office

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Memo

To: Toben Barnum, Development Services Technician
From: Lumen Arceo, Senior Plan Check Engineer
Date: February 26, 2019
Re: TUP 19-025 Vintage Estates Model Home Complex and Sales Office

1. Accessible parking spaces complying with CBC § 11B-502 shall be provided in accordance with CBC Table 11B-208.2. CBC § 11B-208.2 and § 11B-208.2.4.
2. Developer shall provide an accessible restroom in accordance with CBC Chapter 11B and shall be on an accessible path of travel.
3. Developer shall obtain building permits for the sales office, path of travel, etc. prior to the undertaking of any work requiring a building permit per CBC 105.
4. Developer shall comply with all requirements of the Model Water Efficient Landscape Ordinance and all plans shall be submitted and approved prior to permit issuance for construction of the Model Homes or Sales Office.



PROJECT REFERRAL/ROUTING SHEET

DATE: 02/21/2019

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: Parks and Recreation Department
(Department or Agency)

Contact Person: Michael Rosales Phone: 456-8615

Project Title: TUP 19-025 Vintage Estates Model Home Complex and Sales Office

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ~~ATTACHED MEMO~~ Below)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Parks Comments:

1. Street trees shall match Street Tree Plan provided by the Developer and approved by the City Arborist.

Note: To date parks has not received a street tree plan for the final subdivision map.



PROJECT REFERRAL/ROUTING SHEET

DATE: 2/25/19

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: FIRE
(Department or Agency)

Contact Person: L. REY Phone: x8347

Project Title: TUP 19-025 Vintage Estates Model Home Complex and Sales Office

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

RECEIVED

FEB 14 2019

COMMUNITY DEVELOPMENT
DEPARTMENT

DATE: 2/13/19

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: PD
(Department or Agency)

Contact Person: S. Cunningham Phone: 8281

Project Title: TUP 19-025 Vintage Estates Model Home Complex and Sales Office

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.

WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Barnum, Toben

From: Kim, Koosun
Sent: Monday, February 25, 2019 2:41 PM
To: Barnum, Toben
Subject: Task Completed: TUP 19-025 Vintage Estates Model Home Complex and Sales Office

Thank you,



Koosun Kim, PE, QSD
Deputy Director of Public Works - Engineering
City of Manteca | Public Works
1001 W. Center St. | Manteca, CA 95337
Office: 209.456-8419 | Fax: 209.923.8940
www.mantecagov.com

-----Original Task-----

Subject: TUP 19-025 Vintage Estates Model Home Complex and Sales Office
Priority: Normal

Start date: Tue 2/12/2019

Due date: Thu 2/28/2019

Status: Completed

% Complete: 100%

Date completed: Mon 2/25/2019

Actual work: 0 hours

Requested by: Barnum, Toben

No comment

Hardcopy to follow interoffice. Thank you.



TUP 19-025
Routing Sheet.pdf



Toben Barnum, Development Services Technician
City of Manteca | Community Development Department
1001 W. Center St. | Manteca, CA 95337
Office: 209.456.8517 | Fax: 209.923.8949



4044 WINDYBONE #118
M 910-545-3757

JOB NAME:
THE VINTAGE
City of Mariposa, California

Windward Pacific Builders
135 South 5th St, Suite J
Oroville, CA 95961

SHEET CONTENT:
FLOOR PLAN
OPTIONS

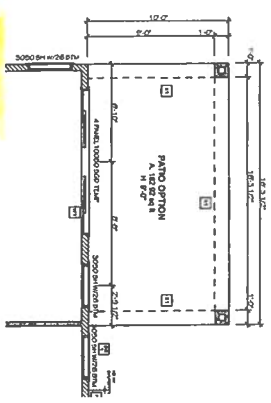
BHEET NO.:
A1.02
PLAN 2

FLOOR PLAN NOTES

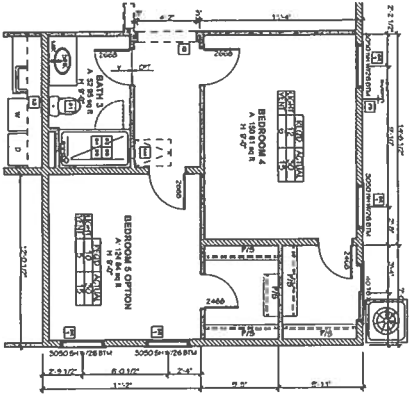
1. ALL UNFINISHED ROOMS AND AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
2. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
3. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
4. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
5. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
6. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
7. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
8. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
9. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
10. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.

FLOOR PLAN KEYNOTES

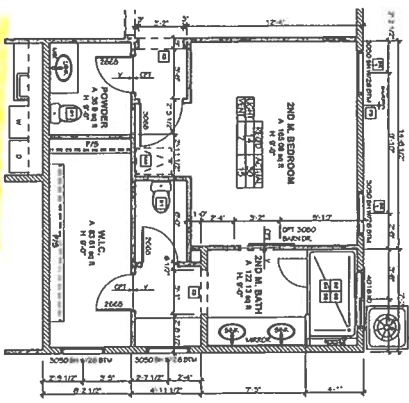
1. ALL UNFINISHED ROOMS AND AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
2. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
3. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
4. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
5. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
6. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
7. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
8. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
9. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
10. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.



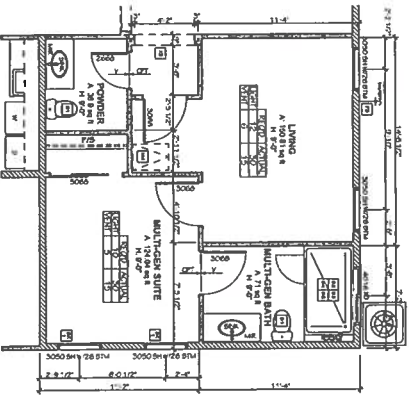
PATIO OPTION
SCALE 1/4" = 1'-0"



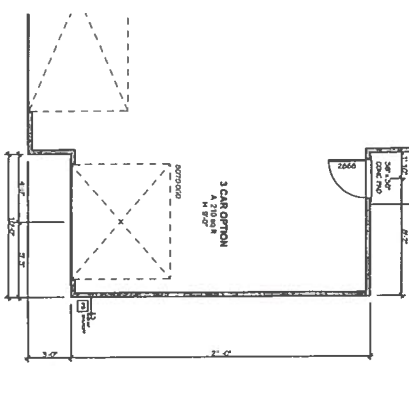
BEDROOM 5 OPTION
SCALE 1/4" = 1'-0"



SECOND MASTER OPTION
SCALE 1/4" = 1'-0"



MULTI-GEN SUITE OPTION
SCALE 1/4" = 1'-0"



THIRD CAR GARAGE OPTION
SCALE 1/4" = 1'-0"

- PLUMBING NOTES**
1. ALL UNFINISHED ROOMS AND AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
 2. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
 3. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
 4. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
 5. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
 6. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
 7. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
 8. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
 9. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
 10. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.

ENERGY NOTES

1. ALL UNFINISHED ROOMS AND AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
2. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
3. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
4. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
5. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
6. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
7. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
8. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
9. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.
10. ALL FINISHED AREAS SHALL BE FINISHED TO MATCH THE FINISHED AREAS.

FINISHES

WALLS	2nd WALL
FLOORS	2nd FLOOR
CEILING	2nd CEILING
DOORS	2nd DOORS
WINDOWS	2nd WINDOWS
STAIRS	2nd STAIRS
ROOFING	2nd ROOFING
MECHANICAL	2nd MECHANICAL
ELECTRICAL	2nd ELECTRICAL
PLUMBING	2nd PLUMBING
PAINT	2nd PAINT
LANDSCAPE	2nd LANDSCAPE
EXTERIOR	2nd EXTERIOR
INTERIOR	2nd INTERIOR
MECHANICAL	2nd MECHANICAL
ELECTRICAL	2nd ELECTRICAL
PLUMBING	2nd PLUMBING
PAINT	2nd PAINT
LANDSCAPE	2nd LANDSCAPE
EXTERIOR	2nd EXTERIOR
INTERIOR	2nd INTERIOR

SCALE

1/4" = 1'-0"

DATE: JAN 23, 2018

REVISIONS:

FILE: VANTICA



4044 MARKET DRIVE, #110
LA JOLLA, CALIFORNIA 92037
TEL: 858-592-9900

JOB NAME:
THE VINTAGE
City of Maricopa, California

Michael J. Vintage
Professional Engineer
135 South 5th St., Suite J
Oroville, CA 95961

SHEET CONTENT:
FLOOR PLAN
OPTIONS

SCALE: 1/4" = 1'-0"

DATE: JAN. 25, 2018

REVISIONS:

FILE	MARKETA
SHEET NO.	A1.02
PLANS	PLANS

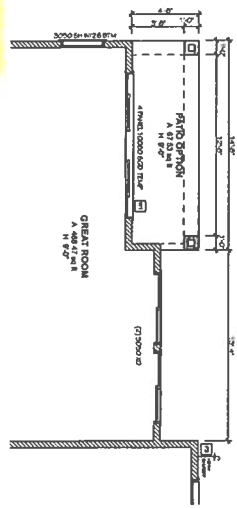
FLOOR PLAN NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. FINISHES ARE TO BE SHOWN ON THE ARCHITECTURAL DRAWINGS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA PLUMBING CODE (CPC) AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA FIRE CODE (CFC) AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA SAFETY CODE (CSC) AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA HEALTH CARE FACILITY REGULATIONS (HCFR) AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND ALL APPLICABLE LOCAL ORDINANCES.

FLOOR PLAN NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. FINISHES ARE TO BE SHOWN ON THE ARCHITECTURAL DRAWINGS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA PLUMBING CODE (CPC) AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA FIRE CODE (CFC) AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA SAFETY CODE (CSC) AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA HEALTH CARE FACILITY REGULATIONS (HCFR) AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND ALL APPLICABLE LOCAL ORDINANCES.

PATIO OPTION

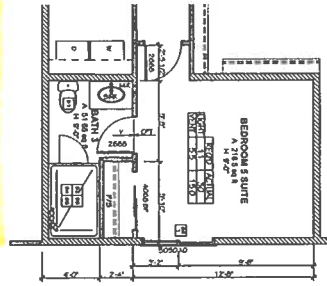


1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. FINISHES ARE TO BE SHOWN ON THE ARCHITECTURAL DRAWINGS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA PLUMBING CODE (CPC) AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA FIRE CODE (CFC) AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA SAFETY CODE (CSC) AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA HEALTH CARE FACILITY REGULATIONS (HCFR) AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND ALL APPLICABLE LOCAL ORDINANCES.

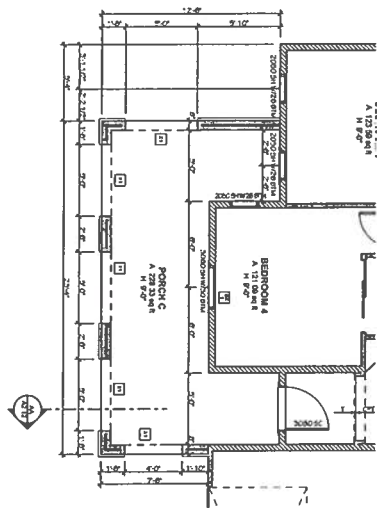
PLUMBING NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. FINISHES ARE TO BE SHOWN ON THE ARCHITECTURAL DRAWINGS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA PLUMBING CODE (CPC) AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA FIRE CODE (CFC) AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA SAFETY CODE (CSC) AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA HEALTH CARE FACILITY REGULATIONS (HCFR) AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND ALL APPLICABLE LOCAL ORDINANCES.

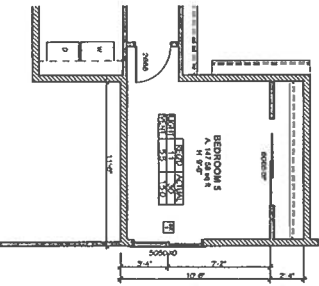
BEDROOM 5 SUITE OPTION



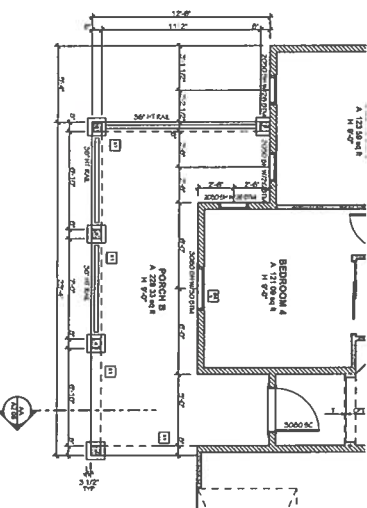
PARTIAL FLOOR PLAN - ELEVATION 'C'



BEDROOM 5 OPTION



PARTIAL FLOOR PLAN - ELEVATION 'B'



ENERGY NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. FINISHES ARE TO BE SHOWN ON THE ARCHITECTURAL DRAWINGS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA PLUMBING CODE (CPC) AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA FIRE CODE (CFC) AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA SAFETY CODE (CSC) AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA HEALTH CARE FACILITY REGULATIONS (HCFR) AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND ALL APPLICABLE LOCAL ORDINANCES.

SOCKET SCHEDULE

TYPE	QUANTITY
1/4" x 1/2" x 1/2"	2,333
1/4" x 1/2" x 1/2"	662
1/4" x 1/2" x 1/2"	1,467
1/4" x 1/2" x 1/2"	2,225
1/4" x 1/2" x 1/2"	2,130
1/4" x 1/2" x 1/2"	1,475
1/4" x 1/2" x 1/2"	973

WALL LEGEND

WALL TYPE	WALL THICKNESS
CONCRETE	8"
CMU	8"
CMU	12"
CMU	16"
CMU	20"
CMU	24"
CMU	30"
CMU	36"
CMU	42"
CMU	48"
CMU	54"
CMU	60"
CMU	66"
CMU	72"
CMU	78"
CMU	84"
CMU	90"
CMU	96"
CMU	102"
CMU	108"
CMU	114"
CMU	120"
CMU	126"
CMU	132"
CMU	138"
CMU	144"
CMU	150"
CMU	156"
CMU	162"
CMU	168"
CMU	174"
CMU	180"
CMU	186"
CMU	192"
CMU	198"
CMU	204"
CMU	210"
CMU	216"
CMU	222"
CMU	228"
CMU	234"
CMU	240"
CMU	246"
CMU	252"
CMU	258"
CMU	264"
CMU	270"
CMU	276"
CMU	282"
CMU	288"
CMU	294"
CMU	300"
CMU	306"
CMU	312"
CMU	318"
CMU	324"
CMU	330"
CMU	336"
CMU	342"
CMU	348"
CMU	354"
CMU	360"
CMU	366"
CMU	372"
CMU	378"
CMU	384"
CMU	390"
CMU	396"
CMU	402"
CMU	408"
CMU	414"
CMU	420"
CMU	426"
CMU	432"
CMU	438"
CMU	444"
CMU	450"
CMU	456"
CMU	462"
CMU	468"
CMU	474"
CMU	480"
CMU	486"
CMU	492"
CMU	498"
CMU	504"
CMU	510"
CMU	516"
CMU	522"
CMU	528"
CMU	534"
CMU	540"
CMU	546"
CMU	552"
CMU	558"
CMU	564"
CMU	570"
CMU	576"
CMU	582"
CMU	588"
CMU	594"
CMU	600"
CMU	606"
CMU	612"
CMU	618"
CMU	624"
CMU	630"
CMU	636"
CMU	642"
CMU	648"
CMU	654"
CMU	660"
CMU	666"
CMU	672"
CMU	678"
CMU	684"
CMU	690"
CMU	696"
CMU	702"
CMU	708"
CMU	714"
CMU	720"
CMU	726"
CMU	732"
CMU	738"
CMU	744"
CMU	750"
CMU	756"
CMU	762"
CMU	768"
CMU	774"
CMU	780"
CMU	786"
CMU	792"
CMU	798"
CMU	804"
CMU	810"
CMU	816"
CMU	822"
CMU	828"
CMU	834"
CMU	840"
CMU	846"
CMU	852"
CMU	858"
CMU	864"
CMU	870"
CMU	876"
CMU	882"
CMU	888"
CMU	894"
CMU	900"
CMU	906"
CMU	912"
CMU	918"
CMU	924"
CMU	930"
CMU	936"
CMU	942"
CMU	948"
CMU	954"
CMU	960"
CMU	966"
CMU	972"
CMU	978"
CMU	984"
CMU	990"
CMU	996"
CMU	1002"
CMU	1008"
CMU	1014"
CMU	1020"
CMU	1026"
CMU	1032"
CMU	1038"
CMU	1044"
CMU	1050"
CMU	1056"
CMU	1062"
CMU	1068"
CMU	1074"
CMU	1080"
CMU	1086"
CMU	1092"
CMU	1098"
CMU	1104"
CMU	1110"
CMU	1116"
CMU	1122"
CMU	1128"
CMU	1134"
CMU	1140"
CMU	1146"
CMU	1152"
CMU	1158"
CMU	1164"
CMU	1170"
CMU	1176"
CMU	1182"
CMU	1188"
CMU	1194"
CMU	1200"
CMU	1206"
CMU	1212"
CMU	1218"
CMU	1224"
CMU	1230"
CMU	1236"
CMU	1242"
CMU	1248"
CMU	1254"
CMU	1260"
CMU	1266"
CMU	1272"
CMU	1278"
CMU	1284"
CMU	1290"
CMU	1296"
CMU	1302"
CMU	1308"
CMU	1314"
CMU	1320"
CMU	1326"
CMU	1332"
CMU	1338"
CMU	1344"
CMU	1350"
CMU	1356"
CMU	1362"
CMU	1368"
CMU	1374"
CMU	1380"
CMU	1386"
CMU	1392"
CMU	1398"
CMU	1404"
CMU	1410"
CMU	1416"
CMU	1422"
CMU	1428"
CMU	1434"
CMU	1440"
CMU	1446"
CMU	1452"
CMU	1458"
CMU	1464"
CMU	1470"
CMU	1476"
CMU	1482"
CMU	1488"
CMU	1494"
CMU	1500"