



CITY OF MANTECA

COMMUNITY DEVELOPMENT
DEPARTMENT

October 17, 2018

Charlie Halford
Manteca Rotary Foundation
P.O. Box 1009
Manteca Ca 95336

SUBJECT: TEMPORARY USE PERMIT 18-110: SANTA'S HOUSE

Dear Applicant:

The City of Manteca Planning Division has reviewed your Temporary Use Permit application for Santa's House. Your project application has been approved with the following conditions:

Planning Division

1. The Temporary Use Permit is only valid for the following dates: December 1, 2018 through December 24, 2018.
2. All structures will be located outside of the Clear Visibility Triangle, which is defined as follows:
 - a. The cross-visibility area shall be a triangle having two sides 20 feet long and running along each curb line, said length beginning at their intersection, and the third side formed by a line connecting the two ends. The required clear cross-visibility area shall be unobstructed by any structure or landscape between 30 inches and 7 feet above the surface of the public sidewalk at any corner formed by the intersecting streets.
3. All related debris shall be removed from the site upon termination of the use.
4. Emergency vehicle access shall be maintained at all times.
5. All conditions of approval shall be satisfied by the owner/developer. All costs associated with compliance with the conditions shall be at the owner/developer's expense.
6. Fees: Developer shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.

Building Safety Division

7. Provide accessible parking space as close as possible to the main entrance, if parking will be provided.
8. Provide accessible restroom, if restroom facilities will be provided.
9. The door shall comply with the following:
 - a. Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.
 - b. Effort to operate door/gate is 5 pounds max pressure.

- c. Latching and locking doors that are hand operated and which are in a path of travel shall be operable by lever type, panic bars, and push-pull activating bars.
 - d. Opening hardware shall be centered between 30" to 44" above finish floor.
 - e. There shall be a floor or landing on each side of a door and must be level and clear. Level area in the direction of the door swing is a minimum of 60".
10. The running slope of the pedestrian ramp shall not be steeper than one unit vertical in 12 units horizontal and the cross slope shall not be steeper than 1:48. CBC §1012.2, §11B-405.2 and §11B-405.3.
11. Doors, in any position, shall not reduce the minimum dimension of the ramp landing to less than 42". CBC §11B-405.7.5. Disregard this comment if the door swings in.
12. The clear width of a ramp run shall be 48". CBC §11B-405.5.
13. Ramp runs shall have handrails complying with CBC §11B-505 and edge protection complying with CBC §11B-405.9.2 on each side of ramp run.
14. Electrical permit is required for any electrical work, disregard if not applicable.

Fire Division

15. The use of natural gas/propane heaters is prohibited.

If you have questions or need supplemental information regarding this letter, you can reach Toben Barnum at (209) 456-8517 or tbarnum@ci.manteca.ca.us.

Sincerely,


For: Greg Showerman
Community Development Director



CITY OF MANTECA Community Development Department Project Referral/Routing

City Departments

- | | |
|--|--|
| <input checked="" type="checkbox"/> Engineering – Lauren Maneau | <input checked="" type="checkbox"/> Police Department- Scott Cunningham |
| <input checked="" type="checkbox"/> Building Department- Lumen Arceo | <input checked="" type="checkbox"/> Public Works – Koosun Kim |
| <input checked="" type="checkbox"/> Parks and Recreation- Michael Rosales | <input type="checkbox"/> City Attorney – John Brinton |
| <input checked="" type="checkbox"/> Fire Department- Lantz Rey | <input type="checkbox"/> Park and Recreation: Landscaping- Katie Reed |

Outside Agencies

- | | |
|---|---|
| <input type="checkbox"/> South San Joaquin Irrigation District (SSJID) | <input type="checkbox"/> City of Ripon |
| <input type="checkbox"/> San Joaquin County Multi-Species
Habitat Conservation | <input type="checkbox"/> City of Lathrop |
| <input type="checkbox"/> San Joaquin Council of Governments (SJCOG) | <input type="checkbox"/> Union Pacific Railroad |
| <input type="checkbox"/> San Joaquin County Environmental Health | <input type="checkbox"/> ALUC-Airport Land Use Commission |
| <input type="checkbox"/> San Joaquin County Public Works | <input type="checkbox"/> CA Dept. of Fish and Game |
| <input type="checkbox"/> San Joaquin County Community
Development Department | <input type="checkbox"/> CA Dept. of Conservation |
| <input type="checkbox"/> San Joaquin County LAFCo | <input type="checkbox"/> Dept. of Water Resources Control Board,
Water Quality |
| <input type="checkbox"/> Caltrans District 10 | <input type="checkbox"/> Native American Heritage Commission |
| <input type="checkbox"/> San Joaquin Valley Air Pollution Control
District | <input type="checkbox"/> U.S. Dept. of Fish and Wildlife Services |
| <input type="checkbox"/> San Joaquin Delta College,
Office of the President | <input type="checkbox"/> U.S. Army Corp. of Engineers |
| <input type="checkbox"/> Manteca Unified School District | <input type="checkbox"/> Federal Emergency Management Agency (FEMA) |
| <input type="checkbox"/> Ripon Unified School District | <input type="checkbox"/> U.S. Post Office |
| <input type="checkbox"/> Lathrop-Manteca Fire District | <input type="checkbox"/> Comcast Cable |
| <input type="checkbox"/> Ripon Consolidated Fire District | <input type="checkbox"/> Verizon |
| | <input type="checkbox"/> Pacific Gas and Electric |
| | <input type="checkbox"/> San Joaquin Bike Coalition |

Referral/Route Date: October 3, 2018

From: Toben Barnum, Development Services Technician (209) 456-8517, tbarnum@ci.manteca.ca.us

Project Description: Temporary Use Permit for Santa's House in the parking lot adjacent to Bedquarters (115 W. Yosemite Ave).

Project Location: 115 W. Yosemite Ave.

The Planning Division would appreciate your comments/conditions at the earliest possible date, but **no later than October 17, 2018**. Please submit your comments on a separate memo, or on the form provided on the back of this page. If possible, please email your comments to tbarnum@ci.manteca.ca.us in addition to submitting a hard copy. Contact **Toben Barnum** at (209) 456-8517 if you have any questions.



TEMPORARY USE PERMIT APPLICATION

CITY OF MANTECA, COMMUNITY DEVELOPMENT DEPARTMENT
1001 W. CENTER ST., MANTECA, CA 95337, (209)456-8500
planning@ci.manteca.ca.us

Applicant Info	Property Owner Info
Name: <u>Manteca Rotary Foundation</u>	Name: <u>Bedquarters Inc.</u>
Address: <u>PO Box 1009</u>	Address: <u>115 W. Yosemite Ave</u>
City/State/Zip: <u>Manteca CA 95336</u>	City/State/Zip: <u>Manteca CA 95336</u>
Home Telephone: <u>NA</u>	Home Telephone: <u>209-823-3463</u>
Mobile No.: <u>209-456-7300</u>	Mobile No.: _____
E-mail Address: <u>chalford1019@comcast.net</u>	E-mail Address: _____
Fax No.: <u>na</u>	Fax No.: _____

Event Info
Business Name: <u>Manteca Downtown Santa, Manteca Rotary Foundation</u>
Event Hours: Days: <u>12/01/2018 thru 12/24/2018</u> Hours: <u>12:00 AM to 8:00 PM</u>
Event Location: <u>Parking Lot at Northwest corner Main St. and Yosemite Ave. 115 W. Yosemite Ave, Manteca, CA</u>
Description of Event/ Activities: <u>Manteca Rotary Foundation is providing the Downtown Santa, placing the mobile santa house in the parking lot</u> <u>The Santa house will be open for families each afternoon and early evening.</u>

Statement of Ownership or Authorization of Agent (Check one item)

I, the undersigned, am (one of) the legal owner(s) of the land specified in this application.

I, do hereby authorized and empower Charles Halford/Jeff Liotard (agent) to act on my behalf on all matters relating to this application.

Bedquarters Inc 10/2/18
 Property Owner Signature Print Name Date

115 W. Yosemite Ave Manteca, CA 95336 209-823-3463
 Address City, State, Zip Telephone

In making this application, the undersigned agrees that the above information is true and that all conditions will be met.

Charles Halford _____
 Applicant Signature Print Name Date

OFFICE USE ONLY

Fee: \$568 Receipt No.: _____ Date Received: 10/3/18

+ \$250 Cleaning Deposit Required. (Christmas tree Lots Only *Send copy of Approved TUP to Superintendent at Solid Waste)

Approved: X Denied: _____

Planner Signature: Date 10/17/18

Assessor's Parcel No. (APN): 217-210-49 Application Number: 18-110

Conditions of the Temporary Use Permit

(Please initial all boxes agreeing to comply with all applicable conditions.)

- This Temporary Use Permit is only valid for the dates and times listed on this application.
- Proper building permits shall be obtained for all electrical and structural work through the City of Manteca Building Safety Division at (209) 456-8550.
- All related debris shall be removed from the site upon termination of the use.
- Applicant will provide traffic controls and parking as required by the Public Works Department and the Police Department prior to the event.
- Appropriate permits shall be secured from the San Joaquin County Health Department.
- Emergency vehicle access shall be maintained at all times.
- The placement of merchandise, signs and accessory vehicles/equipment shall not impede traffic circulation of the parking lot or create traffic conditions on Yosemite / Main.
- Proposed activity shall not interfere with existing accessibility features (e.g. accessible parking spaces).
- Applicant shall provide an accessible path of travel from the proposed event site to the public street, accessible parking space and to the accessible restroom facility, if applicable. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. CBC Section 1114B.1.2. Clearly show accessible path of travel on the site plan.
- If parking will be provided, applicant shall provide an accessible parking space.
- If restroom facilities will be provided, applicant shall provide an accessible restroom.
- All gates shall meet all applicable specifications for doors, and shall comply with the following:
- Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.
 - Effort to operate door/gate is 5 pounds max pressure.
 - Latching and locking doors/gates that are hand operated and which are in a path of travel are operable by lever type, panic bars, and push-pull activating bars.
 - Opening hardware is centered between 30" to 44" above finish floor.
 - There shall be a floor or landing on each side of a door/gate, and must be level and clear. Level area in the direction of the door swing is a minimum of 60".
- Applicant shall be responsible for contacting all affected agencies and for the timely payment of all applicable fees associated with this project.
- Applicant shall be responsible for contacting all appropriate utility companies to obtain agreements for extension and/or relocation of services necessary for the proposed development.
- Appropriate direction signs, barricades or fences shall be provided as necessary.
- Applicant shall obtain a valid City business license.
- A water permit and hydrant meter shall be obtained from the Public Works Department. (209) 456-8585
- An acceptable path of egress to the public right-of-way shall be maintained at all time.
- Lessor shall not be responsible or liable for any loss or injury, or damage occurring to Lessee or to the property of Lessee or to third persons, or the property of third persons, in, about, or on said leased premises, no matter how occurring and Lessee will save Lessor harmless for or on account of any loss, injury or damage to any person or persons or their property occurring therein, or resulting from Lessee's operation thereof. Prior to the use of Property, Lessee shall obtain and maintain in force at its sole cost and expense, the following insurance coverage—Comprehensive General and Automobile Liability Insurance (covering use of owned, non-owned, or hired vehicles) with limits of \$1,000,000 per occurrence, Property Damage--\$300,000 per occurrence. Such insurance shall contain provisions insuring the City of Manteca, elected officials, employees, agents, and volunteers as insureds. Such insurance shall be primary to any liability insurance carried by the Lessor. Pursuant to California Government Code Section 818.4, a public entity is not liable for an injury caused by the issuance, denial, suspension or revocation of, or by the failure of refusal to issue, deny, suspend or revoke, any permit, license, certificate, approval, order, or similar authorization where the public entity or an employee of the public entity is authorized by enactment to determine whether or not such authorization should be issued, denied, suspended or revoked.



Department of the Treasury
Internal Revenue Service

P.O. Box 35045
Jacksonville FL 32202-0000

In reply refer to: 0752353593
July 03, 2012 LTR 4168C 0
94-3153465 000000 00
Input Op: 0752353593 00024692
BODC: TE

MANTECA ROTARY CLUB FOUNDATION
PO BOX 1009
MANTECA CA 95336-1139



017158

Employer Identification Number: 94-3153465
Person to Contact: ERIK V. REIS
Toll Free Telephone Number: 1-877-829-5500

Dear Taxpayer:

This is in response to your June 22, 2012, request for information regarding your tax-exempt status.

Our records indicate that you were recognized as exempt under section 501(c)(3) of the Internal Revenue Code in a determination letter issued in July 2008.

Our records also indicate that you are not a private foundation within the meaning of section 509(a) of the Code because you are described in section 509(a)(2).

Donors may deduct contributions to you as provided in section 170 of the Code. Bequests, legacies, devises, transfers, or gifts to you or for your use are deductible for Federal estate and gift tax purposes if they meet the applicable provisions of sections 2055, 2106, and 2522 of the Code.

Please refer to our website www.irs.gov/eo for information regarding filing requirements. Specifically, section 6033(j) of the Code provides that failure to file an annual information return for three consecutive years results in revocation of tax-exempt status as of the filing due date of the third return for organizations required to file. We will publish a list of organizations whose tax-exempt status was revoked under section 6033(j) of the Code on our website beginning in early 2011.

City of Manteca
1001 W. Center Street
Manteca, CA 95336

Letter of Intent

To whom it may concern:

Manteca Rotary Foundation received permission from Bedquarters Inc., located at 115 W. Yosemite Ave, Manteca to use their parking lot located at the northwest corner of Yosemite Avenue and North Main Street, to operate Santa's House during the Christmas Season. The house and ramp will be placed there after November 15, 2018 and will be removed by January 6, 2019. The Santa House and ramp are set up early for city and inspection. The Santa House begins operation after the Manteca Christmas Parade on December 1st.

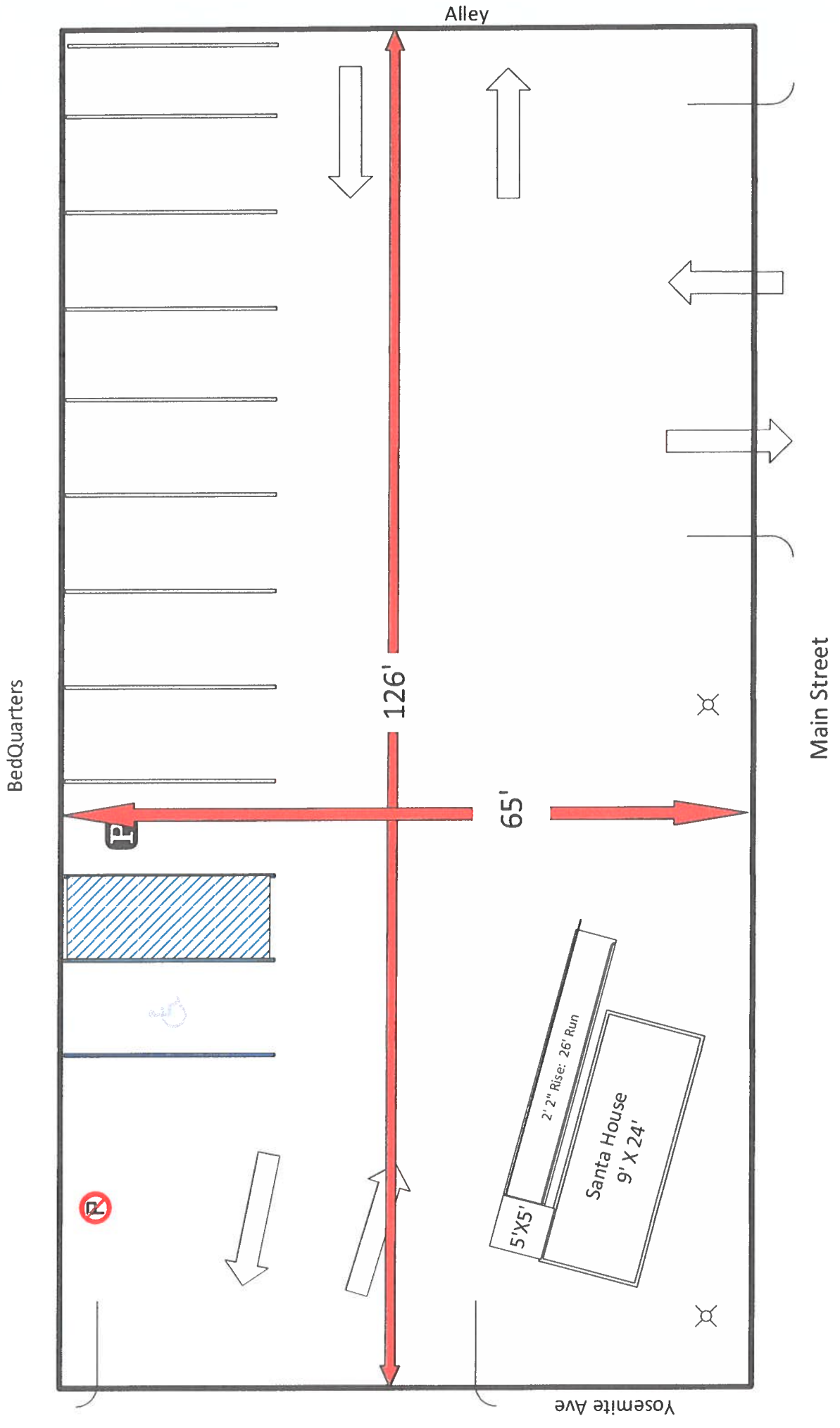
If you have any questions, please contact me at 209-456-7300.



Charlie Halford
Manteca Rotary Foundation



Bedquarters



Yosemite Ave

115 W Yosemite Ave

Yosemite Valley Lodge

115

116

117

118

119

120

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122

123

124

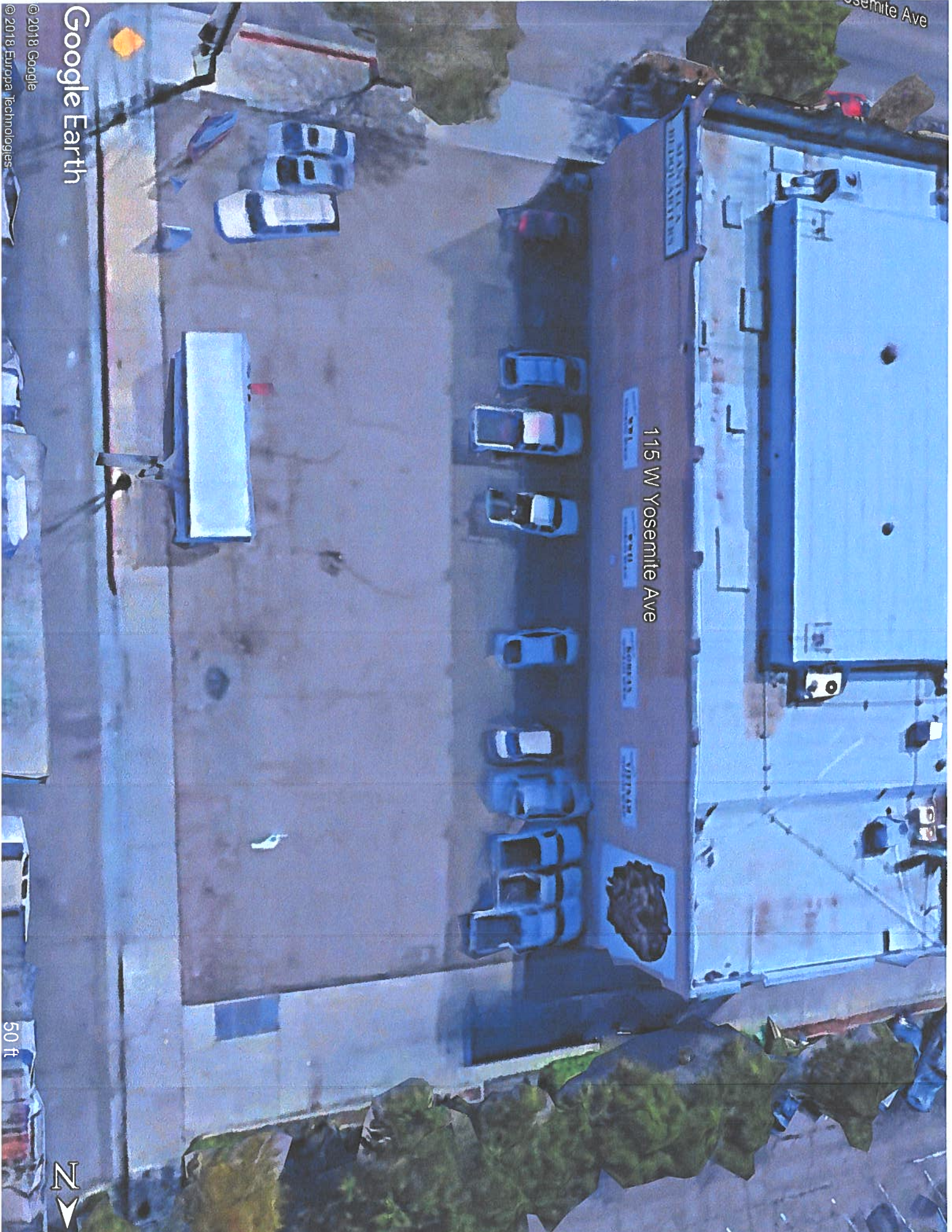
125

126

Google Earth

© 2018 Google
© 2018 Europa Technologies

50 ft





PROJECT REFERRAL/ROUTING SHEET

DATE: 10/3/18

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: Bldg & Safety
(Department or Agency)

Contact Person: LA Phone: X 8560

Project Title: Temporary Use Permit 18-110 Santa's House

RESPONSE:

WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



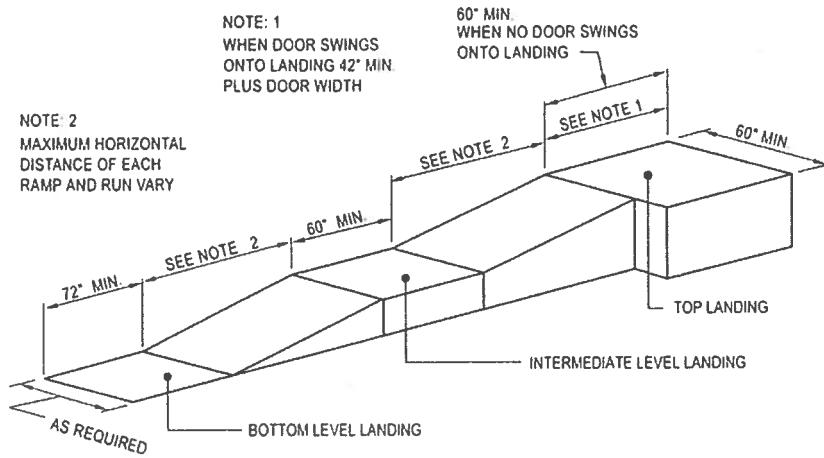
WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

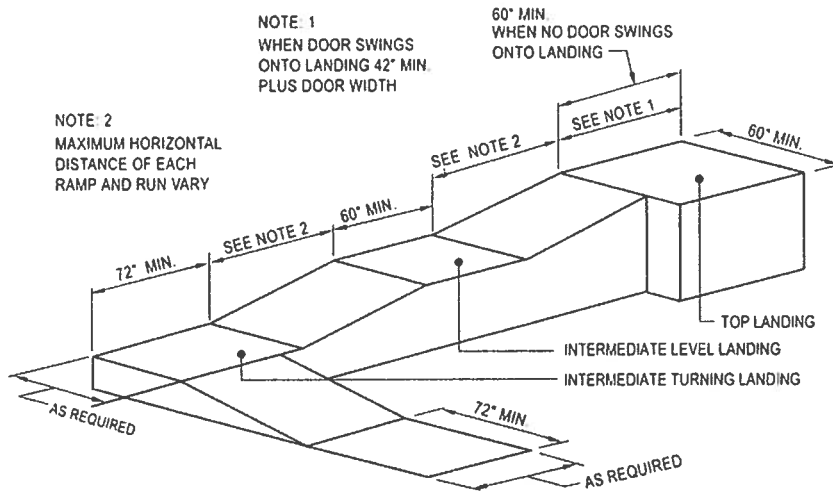
Memo

To: Toben Barnum, Assistant Planner
From: Lumen Arceo, Senior Engineer
Date: October 4, 2018
Re: TUP 18-110_Santa's House

1. Provide accessible parking space as close as possible to the main entrance, if parking will be provided.
2. Provide accessible restroom, if restroom facilities will be provided.
3. The door shall comply with the following:
 - a. Bottom 10" of door/gate has a smooth uninterrupted surface that allows door/gate to be opened by a wheelchair footrest without creating trap or hazardous condition.
 - b. Effort to operate door/gate is 5 pounds max pressure.
 - c. Latching and locking doors that are hand operated and which are in a path of travel shall be operable by lever type, panic bars, and push-pull activating bars.
 - d. Opening hardware shall be centered between 30" to 44" above finish floor.
 - e. There shall be a floor or landing on each side of a door and must be level and clear. Level area in the direction of the door swing is a minimum of 60".
4. The running slope of the pedestrian ramp shall not be steeper than one unit vertical in 12 units horizontal and the cross slope shall not be steeper than 1:48. CBC §1012.2, §11B-405.2 and §11B-405.3.
5. Doors, in any position, shall not reduce the minimum dimension of the ramp landing to less than 42". CBC §11B-405.7.5. Disregard this comment if the door swings in.
6. The clear width of a ramp run shall be 48". CBC §11B-405.5.
7. Ramp runs shall have handrails complying with CBC §11B-505 and edge protection complying with CBC §11B-405.9.2 on each side of ramp run.
8. Electrical permit is required for any electrical work, disregard if not applicable.



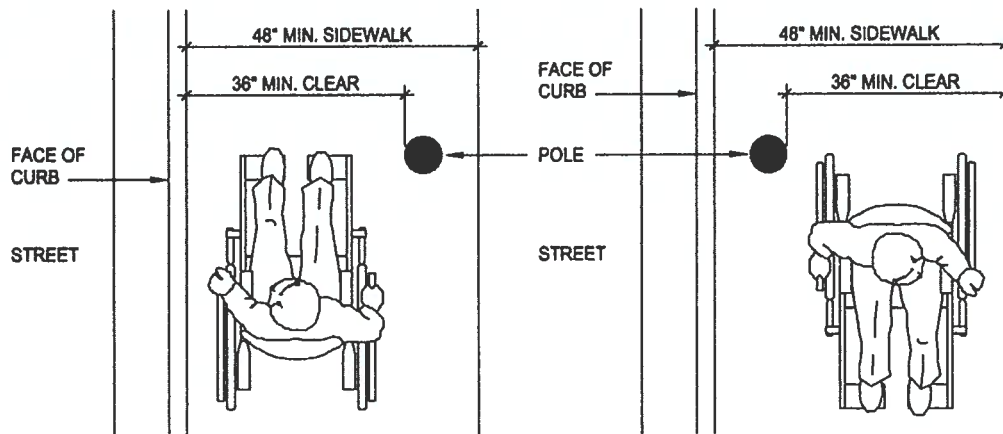
(a) STRAIGHT RAMP RUN



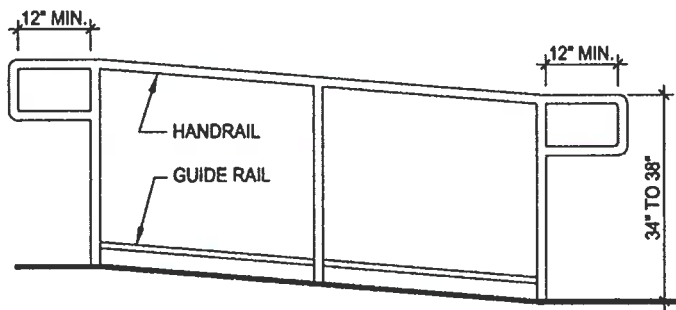
(b) RAMP WITH TURNING LANDING

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION

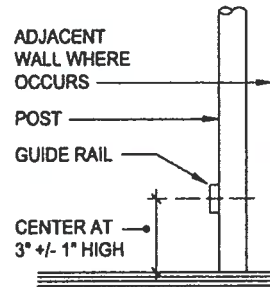
FIGURE 11B-38—RAMP DIMENSIONS



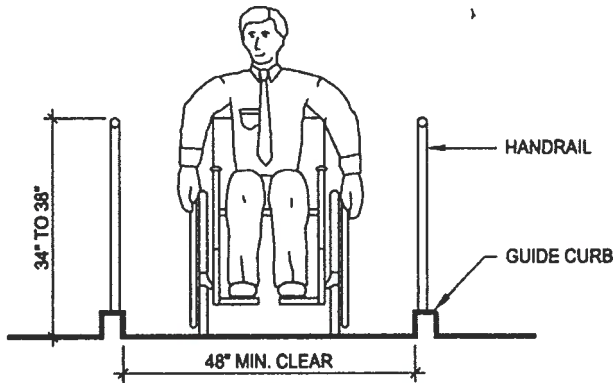
(a) SIDEWALK OBSTRUCTIONS



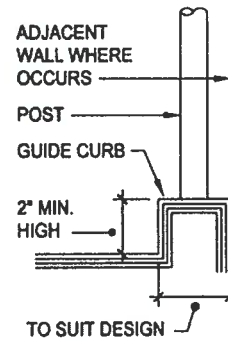
(b) HANDRAIL AND GUIDE RAIL



GUIDE RAIL DETAIL



(c) GUIDE CURB



GUIDE CURB DETAIL

FIGURE 11B-27—RAMPS AND SIDEWALKS



PROJECT REFERRAL/ROUTING SHEET

DATE: 10/4/18

To: City of Manteca Planning Division
1001 W. Center Street
Manteca, CA 95337

FROM: PD
(Department or Agency)

Contact Person: S. Cunningham Phone: 8281

Project Title: Temporary Use Permit 18-110 Santa's House

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 10/10/18

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: Fire
(Department or Agency)

Contact Person: Wiley Phone: x8347

Project Title: Temporary Use Permit 18-110 Santa's House

RESPONSE:

- WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.
- WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

* 1) No use of propane heaters.



PROJECT REFERRAL/ROUTING SHEET

DATE: 10/15/18

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: Parks and Recreation Department
(Department or Agency)

Contact Person: Michael Rosales Phone: 456-8516

Project Title: Temporary Use Permit 18-110 Santa's House

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).



PROJECT REFERRAL/ROUTING SHEET

DATE: 10/11/18

To: **City of Manteca Planning Division**
1001 W. Center Street
Manteca, CA 95337

FROM: CDD Engineering
(Department or Agency)

Contact Person: Manish Surran Phone: (209) 456 8586

Project Title: Temporary Use Permit 18-110 Santa's House

RESPONSE:



WE HAVE REVIEWED THIS PROPOSED PROJECT AND HAVE NO COMMENTS OR REQUIREMENTS.



WE HAVE REVIEWED THIS PROPOSED PROJECT AND REQUEST THE FOLLOWING CONDITIONS OF APPROVAL. (SEE ATTACHED MEMO)

PLEASE ATTACH YOUR COMMENTS (EMAIL YOUR COMMENTS TO THE PROJECT PLANNER IF POSSIBLE).

Barnum, Toben

From: Kim, Koosun
Sent: Wednesday, October 17, 2018 8:19 AM
To: Barnum, Toben
Subject: Task Completed: TUP 18-110 -- Santa House - Manteca Rotary Club

-----Original Task-----

Subject: TUP 18-110 -- Santa House - Manteca Rotary Club
Priority: Normal

Start date: Wed 10/3/2018
Due date: Wed 10/17/2018

Status: Completed
% Complete: 100%
Date completed: Wed 10/17/2018
Actual work: 0 hours

Requested by: Barnum, Toben

No comments:

I prefer the scanned copy.

Routing sheet and packet to follow in interoffice mail.

I do have a question. Would you prefer to keep receiving hard copies of the entire application packet, or can I just scan it and send an electronic copy?

TB